

**AGENDA
CITY OF ST. CHARLES
PLANNING & DEVELOPMENT COMMITTEE
ALD. PAUL LENCIONI – CHAIR
MONDAY, FEBRUARY 10, 2025 - 7:00 PM
CITY COUNCIL CHAMBERS
2 E. MAIN STREET**

1. CALL TO ORDER

2. ROLL CALL

3. OMNIBUS VOTE

Items with an asterisk (*) are considered to be routine matters and will be enacted by one motion. There will be no separate discussion on these items unless a council member/citizen so requests, in which event the item will be removed from the consent agenda and considered in normal sequence on the agenda.

4. COMMUNITY & ECONOMIC DEVELOPMENT

- a. Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Space Self Storage, Corporate Reserve PUD Lot 2.
- b. Recommendation to approve a Minor Change to PUD for Carriage Oaks, 1500 S. 14th Street, Carriage Oaks PUD.
- c. Recommendation to approve a Plat of Easement Grant for a Nicor natural gas line through Langum Park.

5. PUBLIC COMMENT

6. ADDITIONAL ITEMS FROM MAYOR, COUNCIL OR STAFF


7. EXECUTIVE SESSION

- Personnel – 5 ILCS 120/2(c)(1)
- Pending, Probable or Imminent Litigation – 5 ILCS 120/2(c)(11)
- Property Acquisition – 5 ILCS 120/2(c)(5)
- Collective Bargaining – 5 ILCS 120/2(c)(2)
- Review of Executive Session Minutes – 5 ILCS 120/2(c)(21)

8. ADJOURNMENT

ADA Compliance

Any individual with a disability requesting a reasonable accommodation in order to participate in a public meeting should contact the ADA Coordinator, Jennifer McMahon, at least 48 hours in advance of the scheduled meeting. The ADA Coordinator can be reached in person at 2 East Main Street, St. Charles, IL, via telephone at (630) 377 4446 or 800 526 0844 (TDD), or via e-mail at jmcmahon@stcharlesil.gov. Every effort will be made to allow for meeting participation. Notices of this meeting were posted consistent with the requirements of 5 ILCS 120/1 et seq. (Open Meetings Act).

 CITY OF ST. CHARLES ILLINOIS • 1834	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4a
	Title:	Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Space Self Storage, Corporate Reserve PUD Lot 2.	
	Presenter:	Ellen Johnson, Planner II	
Meeting: Planning & Development Committee		Date: February 10, 2025	
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
TIF District: None			
<p>Executive Summary (if not budgeted, please explain):</p> <p>The subject property is Lot 2 of the Corporate Reserve PUD, located at the NW corner of W Main Street and Cardinal Drive. The rear of the lot fronts Woodward Drive.</p> <p>St. Charles SS LLC has submitted applications for Amendment to PUD and PUD Preliminary to construct a self-storage facility called Space Self Storage on the subject property. The proposed building has 3-stories and is 121,458 sf in size. The self-storage use is permitted in the PUD, however a PUD Amendment is requested to approve zoning deviations necessary to accommodate the proposal:</p> <ul style="list-style-type: none"> • Building Gross Floor Area (GFA) increase: <ul style="list-style-type: none"> a. In the BC Zoning District, the maximum allowable GFA is <u>75,000 sf</u> per building. Proposed GFA of the self storage building is <u>121,458 sf</u> (+46,458 deviation for a single building) b. The Corporate Reserve PUD ordinance limits the total combined GFA of all commercial parcels to <u>135,000 sf</u>. This includes all lots south of Woodward Drive fronting on Main Street. The other lots subject to this standard are already developed with buildings- Everbrook Academy and Tractor Supply. The resulting combined GFA, with the proposed self storage building added, is <u>152,399 sf</u> (+17,399 sf deviation for the total commercial GFA in the PUD) • Parking space reduction (85 spaces required, 14 spaces proposed). <p>Plan Commission Review</p> <p>Plan Commission held a public hearing on 12/3/24. Several residents attended the meeting and expressed concerns related to the proposal and proximity to the Anthem Heights subdivision to the north. A number of written letters and emails have also been received.</p> <p>Plan Commission recommended approval by a vote of 4-2, subject to four conditions aimed at lessening the impact on the residential neighbors:</p> <ol style="list-style-type: none"> 1. The building shall be rotated 90-degrees so that the longer dimension is parallel with and closer to W Main Street, with parking north of the building along Woodward. 2. Trees at the north end shall be evergreen species to provide additional screening. 3. An earth berm shall be incorporated at the north end to provide additional screening. 4. Lighting on the north side shall be reduced to the minimum required for life-safety. <p>Current Proposal</p> <p>The applicant has submitted revised plans in response to the Plan Commission's conditions. The building and parking placement have been modified as requested. Evergreen trees and an earth berm have been added along the north end of the property. Lighting levels have been reduced up to the north property line.</p> <p>A secondary access point has been added off Cardinal Drive to reduce traffic on Woodward and provide Fire vehicle access. Driveways off Cardinal were not originally intended in the PUD, however they are not prohibited. The PUD requires driveways to be located at least 150 feet from the intersection of public streets. The proposed driveway on Cardinal is 135 ft from the intersection of Cardinal & Woodward. If this project is</p>			

approved, the driveway would need to be shifted south by 15 ft. This appears feasible based on the site plan. A light pole would need to be relocated.

Attachments (please list):

Plan Commission Resolution, Staff Report, Application, Revised Plans, Original Site Plan (for reference), Public Comment Correspondence

Recommendation/Suggested Action (briefly explain):

Note:

Recommendations for PUD amendments are based upon a finding of whether the PUD request is in the public interest. This determination is to be made based upon PUD Criteria in the Zoning Ordinance. These criteria are listed in the Plan Commission Resolution.

The Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Space Self Storage, Corporate Reserve PUD Lot 2, is presented for Committee consideration.

City of St. Charles, Illinois
Plan Commission Resolution No. 18-2024

**A Resolution Recommending Approval of an Amendment for Special Use for
Planned Unit Development and PUD Preliminary Plan for Space Self Storage,
Corporate Reserve PUD Lot 2 (St. Charles SS LLC)**

Passed by Plan Commission on December 3, 2024

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use for PUD (PUD Amendment) and PUD Preliminary Plan for Space Self Storage, Corporate Reserve PUD Lot 2 (St. Charles SS LLC); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

St. Charles has a shortage of indoor storage centers with only a few. The proposed indoor storage facility is of high-quality architectural design and is self-climate controlled. The building design bodes a modern chic appearance utilizing a blend of high-quality brick, steel, cast stone and concrete creating an aesthetically pleasing appearance that complements both the surrounding area and community at large in a unique and beneficial way to the community and surrounding uses.

The proposed building façade is consistent with and exceeds the first class trend of development along the IL-64 corridor. The proposed building will include high efficiency LED lighting, CCTV cutting edge security video surveillance system, competitive price points, well designed landscaping, new irrigation and utility systems. The Space Self Storage facility is in a class of its own and separate itself from all other competitors and other storage centers in St. Charles with its superior quality and features as described herein which will greatly benefit the public at large in St. Charles. The proposed storage center will become an integral part of the community based on its unique architectural design, safety features and services provided. The proposed indoor storage facility has been carefully designed in accordance with the site design requirements set forth in section 17.06.030 of the city zoning ordinance.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Based on the tremendous costs to build and design the proposed self-storage center with its high-end building design and construction materials, petitioner will need to have a gross floor building area at 121,458 square feet to have enough storage units to be profitable. As provided above, only 5 parking spaces are needed as there are typically only around 1 customer a day on average that visits the storage center. Adding additional parking spaces to satisfy the existing city parking requirements for this type of use would put an undue financial burden on this project that would have a material adverse affect causing the project to not be feasible and profitable.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public areas, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.

6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinance.
9. The PUD preserves historic buildings, sites or neighborhoods.

See above responses and information provided in this exhibit A along with the enclosed site plan, building elevations, colored renderings, engineering plans, landscape plans and filed documents with petition which collectively satisfy requirements 1-9 and are incorporated herein by reference.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

As provided above, St. Charles only has a few self-storage centers and none of which are comparable to the high-quality architectural design and other features of the proposed self-storage facility as more fully outlined above. The public would be greatly served with this unique, high-quality, self-storage center that truly separates itself with its high-quality design, competitive pricing on storage leases, easy site access, safety features and storage services.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

As provided above in further detail, adequate site utilities, drainage and access road are being provided. Please also refer to enclosed engineering plans.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed storage center is already a permitted use in the BC zoning district. The project will be of tremendous benefit to the public in St. Charles for the reasons cited herein this application and will offer a safe, high-quality climate controlled indoor storage facility state of the art in quality for the region. The adjacent property to the east of this site is Tractor Supply and directly west is the daycare. The proposed storage facility compliments these existing uses and the surrounding residential uses

and incorporates high tech security safety surveillance systems. The indoor storage center is a low intensity use with very little traffic coming into and out of the site. On a monthly basis, the site will only generate around 15-30 customer visits on average per month which is less than 1 customer a day coming to the site. Much of the customer storage leases are done online and then the storage units are only visited on an occasional basis. This extremely low traffic generation bodes very well for the surrounding residential. The proposed project will create far less traffic than the daycare and Tractor Supply properties which are much more intense uses with surrounding residential. Based on the foregoing reasons, the proposed project will not be injurious to the surrounding properties and will not diminish or impair property values negatively.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

All of the properties surrounding the subject property are already developed with existing commercial and residential uses. Further, the proposed development will continue to accelerate further development along the IL-64 corridor and surrounding area.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

See petitioner's response to "C" above and all other responses and information provided in this exhibit A and petition documents. The establishment, maintenance or operation of the proposed change to the Corporate Reserve PUD special use will not be detrimental to or endanger the public health, safety, comfort or general welfare as it will actually benefit the surrounding properties and community at large for the reasons state herein.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

Yes. See responses above and petitioner's filed application, including the nonresidential zoning compliance table, along with its filed site plan, engineering plan, and other documents filed by petitioner with the special use application and PUD preliminary plan application. Petitioner is only seeking to modify the parking requirements and gross building maximum floor area per building in the BC district under the Corporate Reserve PUD as provided more fully herein. All other bulk

standards (including, but not limited to, building setbacks) are satisfied without the need for modifications to the PUD or variances.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

Yes. See all responses above. The proposed project will foster other high quality commercial development in the community and be beneficial to diversity, tax base and economic well-being of the city. The proposed self-storage facility at the subject property is a necessary and desirable use and service in the best interest of the public and would contribute to the general welfare of the public and community at large.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

Yes. The City's comprehensive plan shows the subject property as industrial/business park. The proposed indoor self-storage center is akin to industrial and business park uses and is a permitted use in the BC district.

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use for PUD (PUD Amendment), subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Space Self Storage, Corporate Reserve PUD Lot 2 (St. Charles SS LLC), subject to the following conditions:

1. Plans shall be revised to re-orient the building on the site by rotating it 90-degrees so that the longer dimension is parallel with and closer to W. Main Street, with the parking and access area north of the building.
2. Trees at the north end of the lot shall be switched to evergreen species to provide additional screening.
3. An earth berm shall be incorporated on the north end to provide additional screening.
4. Lighting on the north side of the building shall be reduced to the minimum amount required for life-safety.

Roll Call Vote:

Ayes: Moad, Wiese, Rosenberg, Vargulich

Nays: Ewoldt, Fitzgerald

Absent: Lawson, Funke, Gruber

Motion carried: 4-2

PASSED, this 3rd day of December 2024.

Chairman
St. Charles Plan Commission



Applicant:	St. Charles SS LLC
Property Owner:	St. Charles LLC
Location:	NW corner W Main St & Cardinal Dr
Purpose:	Develop self-storage facility
Application:	Special Use (PUD Amendment) PUD Preliminary Plan
Public Hearing:	Yes, required
Zoning:	BC Community Business / PUD
Current Land Use:	Vacant
Comprehensive Plan:	Industrial / Business Park

Space Self Storage



Subject Property

Summary of Proposal: ****Revised plans have been submitted in response to conditions of approval required by the Plan Commission. Updates per the revised plans are in red.***

Proposed is a self-storage facility called Space Self Storage on the vacant lot east of Everbrook Academy in the Corporate Reserve PUD. Details:

- 3 story; 121,458 sf building.
- Site entrances off Woodward **and Cardinal Drives**
- **Building at south end of the site; parking on the north side.**
- Drive-thru loading area on **north side of building.**
- Building design compatible with design standards.
- Landscaping throughout the site.

A PUD Amendment is requested to approve additional PUD/zoning deviations for the site:

- Building gross floor area over 75,000 sf
- Parking space reduction.

A PUD Preliminary Plan is also required due to the property's location within a PUD.

Info / Procedure on Application: **Special Use – PUD Amendment:**

- Approval of development project with specific deviations from the Zoning Ordinance standards. (Amends a PUD ordinance with unique zoning or subdivision standards that apply to a single development site)
- Public hearing is required, with a mailed notice to surrounding property owners.
- Single finding – Is the PUD Amendment in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD Amendment.

- The Plan Commission may recommend conditions and restrictions as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.
- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

PUD Preliminary Plan:

- Approval of plans for development of property within a PUD to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance. Includes building elevations and site, landscape, and engineering plans.
- Recommendation is based on compliance with the concurrently approved Special Use for PUD standards and other city code requirements.

Suggested Action:	Conduct the public hearing on the Special Use (PUD Amendment) and close if all testimony has been taken. Review the PUD Preliminary Plan. The Plan Commission may vote on the items should the Commission feel they have enough information to make a recommendation. A recommendation for approval should be subject to resolution of all staff comments prior to City Council action.
Staff Contact:	Ellen Johnson, Planner

I. PROPERTY INFORMATION

A. History / Context

The subject property is a 2.88-acre lot platted as Lot 2 of the Corporate Reserve of St. Charles Resubdivision. The property has street frontage on W Main Street to the south, Cardinal Drive to the east, and Woodward Drive to the north. A shared access easement is platted along the west lot line, providing access to Everbrook Academy to the west.

The subject property is part of the Corporate Reserve PUD, approved in 2008 under Ord. 2008-Z-18. The PUD originally encompassed a total of eight lots. The four lots north of Woodward Drive were designated for office use. The four parcels south of Woodward, fronting W. Main Street, were designated for commercial uses and stormwater detention. In 2016, the PUD was amended to approve a 78-lot single-family subdivision on the north side of Woodward Drive – Anthem Heights. In 2017, one of the commercial lots was resubdivided into two lots. Everbrook Academy was constructed on Lot 1. Lot 2, the subject property, remains undeveloped.

The following lots in the PUD have been developed:

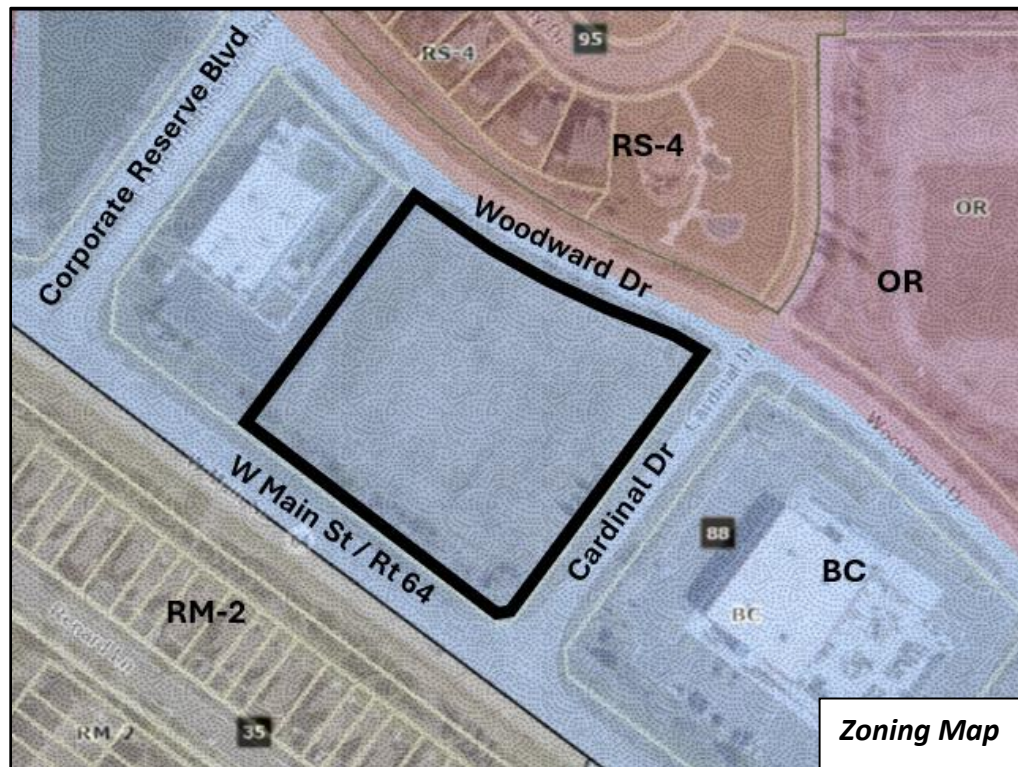
- Lots 1, 4, and 7 – open space/stormwater detention along W Main Street
- Lot 6 – two single-story office buildings north of Woodward Drive.
- Lot 8 – Anthem Heights subdivision.
- Lot 2 – Everbrook Academy day care.
- Lot 3 – Tractor Supply.

Aside from the Subject Property, the last remaining undeveloped lot is Lot 5 on the north side of Woodward Drive, intended for office use.

B. Zoning

The subject property is zoned Community Business and is in the Corporate Reserve PUD. Surrounding properties to the east and west have the same zoning, with single-family residential to the north and multi-family residential to the south.

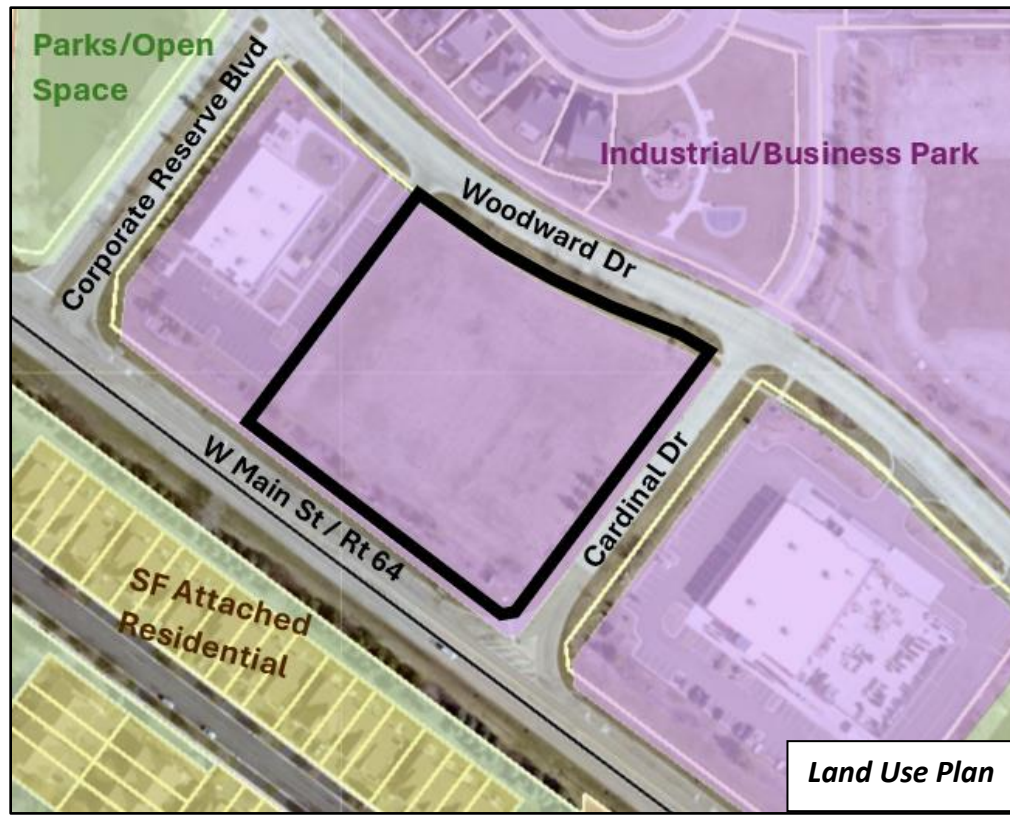
	Zoning	Land Use
Subject Property	BC Community Business / PUD	Vacant
North	RS-4 Suburban Single-Family Residential / PUD	Anthem Heights subdivision
East	BC Community Business / PUD	Tractor Supply retail
South	RM-2 Medium Density Multi-Family Residential	Renaux Manor townhomes
West	BC Community Business / PUD	Everbrook Academy daycare



C. Comprehensive Plan

The Land Use Plan adopted as part of the [2013 Comprehensive Plan](#) identifies the subject property as “Industrial/Business Park”. The Land Use Plan is meant to, “provide a general assessment of land potential and recommendations for what types of land uses will best meet the needs of the community in the long term” (p.37).

It is worth noting that the Comprehensive Plan does not align with the pre-existing land uses approved as part of the Corporate Reserve PUD. The Comprehensive Plan identifies the entire Corporate Reserve PUD as Industrial/Business Park. However, only the portion of the PUD north of Woodward Drive was intended for office use. The portion of the PUD along W Main Street was approved for commercial uses.



The Industrial/Business Park land use is described as follows:

Areas designated for industrial/business park are intended to accommodate a variety of uses ranging from light assembly, storage and distribution, low intensity fabrication operations, research and “tech” industry applications, intense commercial service uses, and more. These areas are also intended to provide for business park/office park uses, which could include “stand alone” office buildings and complexes or several buildings incorporated into a “campus like” setting.

II. PROPOSAL

St. Charels SS LLC is under contract to purchase the subject property. Proposed is development of a self-storage facility called Space Self Storage. Details of the proposal:

- 3 story; 121,458 sf building.
- Site entrances off Woodward and Cardinal Drives.
- Building at south end of the site; parking on the north side.
- Drive-thru loading area on north side of building.
- Building design compatible with design standards.
- Landscaping throughout the site.

The following development applications have been submitted:

- Special Use (PUD Amendment) – Requesting to amend Ord. 2008-Z-18 to allow for a building gross floor area over 75,000 sf and a parking space reduction.
- PUD Preliminary Plan – Plan approval required for development of property that is within a Planned Unit Development to ensure compliance with zoning and PUD standards. Includes site plan, preliminary engineering, landscape plan, and building elevations.

III. PLANNING ANALYSIS

Staff has analyzed the submitted plans for conformance with the Corporate Reserve PUD (Ord. 2008-Z-18) and applicable sections of the Zoning Ordinance, including:

- Ch. 17.06 Design Review
- Ch. 17.26 Landscaping & Screening
- Ch. 17.14 Business & Mixed Use Districts

A. Proposed Use

The proposed self-storage facility is classified as “Mini-Warehouse” in the PUD. “Mini-Warehouse” is defined in the Zoning Ordinance as follows:

A structure or group of structures used for the purpose of renting or leasing individual storage spaces to different tenants who are to have access to such spaces for the purpose of storage and removing property.

“Mini-Warehouse” is a permitted use in the PUD. It is also permitted in the underlying BC Community Business zoning district.

The application materials describe the business operations of the proposed facility:

- All self-storage units will be contained inside the building.
- The building will be climate-controlled.
- A drive-thru on the **north** side of the building will be utilized by customers for loading and unloading of storage items.
- 1 employee will be on-site from approx. 8:30am to 6pm. A front office area is on the first floor.
- Storage units are accessible from 6am to 10pm.
- Tenants enter units via keycode.
- Video surveillance system will be installed.

B. Bulk Standards

The table below compares the applicable standards of the Corporate Reserve PUD and the BC District to the proposed plan. The items in ***bold italics***, gross floor area and parking, have been requested as deviations through the Special Use (PUD Amendment) application. The plans comply with all other bulk standards.

Category	Zoning Ordinance or PUD Standard	Proposed (Revised per PC conditions)
Max. Building Coverage	40%	33.5%
Max. GFA per building	75,000 sf	<i>121,458 sf</i>
Max. GFA for BC Parcels in PUD	135,000 sf	Proposed Self-Storage: 121,458 sf Existing Everbrook Academy: 11,981 sf Existing Tractor Supply: 18,960 sf Total: <i>152,399 sf</i>
Max. Building Height	40 ft	40 ft.
Building Setbacks:		

<i>Front (Main St.)</i>	50 ft.	51 ft.
<i>Interior side (west)</i>	10 ft.	80 ft.
<i>Exterior side (Cardinal Dr)</i>	25 ft.	26 ft.
<i>Rear (Woodward Dr)</i>	25 ft.	99 ft.
Parking Setbacks:		
<i>Front (Main St.)</i>	50 ft.	215 ft.
<i>Interior side (west)</i>	10 ft.	104 ft.
<i>Exterior side (Cardinal Dr)</i>	25 ft.	32 ft.
<i>Rear (Woodward Dr)</i>	25 ft.	48 ft.
Parking Requirement	1 per 10 storage units Up to 850 storage units = 85 spaces required	14 spaces

C. Parking

The Zoning Ordinance requires Mini-Storage facilities to provide 1 parking space per 10 storage units. The application materials indicate the proposed facility will include 659 to 850 storage units, which would equate to a maximum parking requirement of 85 spaces. The applicant is proposing 14 spaces and requesting approval of this number of spaces as part of the PUD Amendment.

The applicant has submitted a letter from CubeSmart, which is a manager of storage facilities throughout the U.S. The letter supports the need for only 5 parking spaces for this facility, based on customer volume and frequency of customer visits. However, 14 spaces are proposed.

Staff Comments:

- ✓ In 2015, the City approved plans for Metro Storage on Lincoln Hwy, west of Meijer. Metro Storage is a comparable-sized facility to Space Self Storage. A parking reduction to 12 spaces was approved for Metro Storage through a PUD Amendment.
- ✓ Staff has consulted the Institute of Traffic Engineers parking generation handbook. The ITE suggests 11-16 parking spaces for a self-storage facility of this size.

D. Site Access & Connectivity

Access into the site is from new driveways off Woodward and Cardinal Drives, north of the building.

Public sidewalk is existing along the Woodward Drive frontage.

Staff Comments

- ✓ Public sidewalk along the W Main Street and Cardinal Drive frontage has not been requested. Sidewalk is not existing on either adjacent property except along Woodward.

E. Landscaping

A landscape plan has been submitted. Existing landscaping along W Main Street within the 50' setback area will be preserved. Existing plantings along Cardinal Drive will be removed. New street frontage landscaping is proposed along Cardinal and Woodward Drives, incorporating shade, ornamental, and evergreen trees and shrubs.

Evergreen trees and an earth berm are provided along Woodward Drive to provide additional screening from the north.

Foundation landscaping is provided along all sides of the building. Parking rows terminate in landscape areas. The plan meets the landscaping requirements of Ch. 17.26 Landscaping & Screening.

F. Building Design

Architectural elevations have been submitted. The proposed building contains three stories and is 40 ft. in height with a flat roof. The four corners of the building are bumped out by 3 ft. from the rest of the building walls and covered with brick. Two other primary façade materials are incorporated: metal wall panels and horizontal fiber cement siding. Split-face CMU is incorporated around the base of the building except where brick is shown. A neutral color scheme is proposed.

The building entrance is on the north and east elevations. Aluminum canopies help to define the entrances.

The proposed design meets the Design Standards & Guidelines of Ch 17.06 applicable to commercial districts.

G. Signage

A total of 3 wall signs are permitted based on the site's three street frontages. One wall sign is shown on each street-facing elevation. No freestanding sign is proposed. An existing multi-tenant freestanding sign is located at the southeast corner of the property. An easement agreement has been prepared to memorialize the location of the sign.

Staff Comments:

- ✓ The sign easement will need to be recorded prior to issuance of building permit for this project.

H. Site Lighting

A photometric plan has been submitted. Pole lighting is proposed for the parking lot. Building-mounted fixtures are also proposed. The fixture and lighting levels meet the Site Lighting standards of Section 17.22.040.

IV. DEPARTMENTAL REVIEWS

A. Engineering Review

Engineering staff have reviewed the preliminary engineering plans for this project. As part of this project, the berm in front of the neighboring property to the west (Everbrook Academy) will need to be regraded to maintain the overland flow path for stormwater drainage. An easement verifying authorization from the Everbrook property owner for work on their property will be required prior to issuance of building permit.

B. Fire Dept. Review

The Fire Dept. has reviewed the plans and has determined that site access and water supply are adequate. An automatic sprinkler system will be required.

V. OPTIONS FOR ACTION

For the Special Use (PUD Amendment):

1. Public Hearing – Close or Continue

If the Plan Commission feels they have adequate information the public hearing may be closed. The public hearing may be continued if additional information is deemed necessary to provide a recommendation.

If Public Hearing is closed-

2. Make a Recommendation to Planning & Development Committee

There is a single finding for PUD applications: Is the PUD in the public interest? There are five Criteria for PUDs which are to be considered to reach a decision. Responses to all criteria need not be in the affirmative to recommend approval of the PUD Amendment. The applicant has provided responses to the Criteria for PUDs as part of the application materials. To summarize, the following deviations are requested:

- Gross Floor Area: 121,458 sf is requested (152,399 sf total for PUD). PUD limit is 75,000 sf (135,000 sf total for PUD). This is a deviation of +11%; and
- Parking: 15 spaces are requested. Ordinance requires 85 spaces. This is a deviation of -82%.

A. Recommend approval of the application for Special Use (PUD Amendment).

- i. Plan Commission may add additional conditions if deemed necessary by the Plan Commission to meet the public interest PUD finding.

OR

A. Recommend denial of the application for Special Use (PUD Amendment).

- i. Plan Commission must substantiate how the PUD finding (public interest) is not being met in order to recommend denial.

For the PUD Preliminary Plan:

Review the PUD Preliminary Plan. Staff has found the application materials to be complete. Staff recommends the any recommendation include a condition requiring resolution of all staff comments prior to City Council action. Note: The PUD Preliminary Plan cannot be approved without approval of the Special Use (PUD Amendment) as well.

VI. ATTACHMENTS

- Applications for Special Use & PUD Preliminary Plan; received 8/8/24
- Preliminary Plans

City of St. Charles
Community Development Division
2 E. Main Street
St. Charles, IL 60174



Phone: (630) 377-4443
Email: cd@stcharlesil.gov

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	_____
Project Number:	_____ -PR- _____
Cityview Project Number:	_____

<p><i>Received Date</i></p>

- *File this application to request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property*
- *Complete the application and submit with all required attachments to the Community Development Division.*
- *The information you provide must be complete and accurate. If you have a question please contact the Community Development Division.*
- *City staff will review the submittal for completeness and for compliance with applicable requirements prior to establishing a public hearing date.*

1. Property Information:	Location: IL 64 and Cardinal Drive, St. Charles, Illinois 60175	
	Parcel Number (s): 09-29-331-003	
	Proposed Name: Part of Corporate Reserve PUD	
2. Applicant Information:	Name: St. Charles SS LLC	Phone: 224-645-2028
	Address: 1101 N. Prospect Avenue Itasca, IL 60143	Email: JR@space-selfstorage.com
3. Record Owner Information:	Name: St. Charles, LLC	Phone:
	Address: 2505 E. 74th Avenue Denver, CO 80229	Email: dgryzmala@a-1chipseal.com

4. Identify the Type of Application:

- ☒ **Special Use for Planned Unit Development - PUD Name:**
- ☐ New PUD
- ☒ Amendment to existing PUD- Ordinance #: CORPORATE RESERVE ORD. #2008-Z-1
- ☒ PUD Preliminary Plan filed concurrently
- ☐ **Other Special Use (from list in the Zoning Ordinance):**
- ☐ Newly established Special Use
- ☐ Amendment to an existing Special Use Ordinance #:

5. Information Regarding Special Use:

Comprehensive Plan designation of the property: Industrial/Business Park



Is the property a designated Landmark or in a Historic District? No



What is the property's current zoning? BC Community Business District



What is the property currently used for? Vacant Land

If the proposed Special Use is approved, what improvements or construction are planned?

See attached Exhibit A for description of proposed project.

6. For Special Use Amendments only:

Why is the proposed change necessary?

To reduce number of required parking spaces to 15 spaces and to modify the permitted maximum gross building floor area per building in the BC District in accordance with the Corporate Reserve PUD Ordinance requirements. See attached Exhibit A further explanation.

What are the proposed amendments? (Attach proposed language if necessary)

To reduce number of required parking spaces to 15 spaces and to modify the permitted maximum gross building floor area per building in the BC District in accordance with the Corporate Reserve PUD Ordinance requirements. See attached Exhibit A further explanation.

Note for existing buildings: If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

7. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

- ☒ **APPLICATION FEE:** Special Use for PUD: \$1,000
All other Special Use requests: \$750

- ☒ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

- ☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- ☒ **PROOF OF OWNERSHIP:** a) A current title policy report; or
b) A deed and a current title search

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- ☒ **OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

- ☒ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.

- ☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.

- ☒ **PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

- ☒ **FINDINGS OF FACT:** Fill out the attached "Criteria for Planned Unit Developments (PUDs)" form for any PUD application and the "Findings of Fact – Special Use" form for all other Special Use applications.

- ☒ **LIST OF PROPERTY OWNERS WITHIN 250 FT.:** Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized. Property ownership information may be obtained using Kane County's interactive GIS mapping tool: http://gistech.countyofkane.org/gisims/kanemap/kanegis4_AGOx.html

- ☒ **SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION:** As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: <http://www.kanedupageswcd.org/>

☒ **ENDANGERED SPECIES REPORT:** As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>

☐ **TRAFFIC STUDY:** If applicable. Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

☐ **PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

Site Plan or plans shall show the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

(Note- For a Special Use for PUD, submit PUD Preliminary Plan Application In lieu of Site Plan)

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date

Dennis P. Merrill, Attorney for Applicant. 7-30-2024

Applicant or Authorized Agent

Date

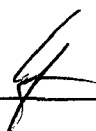
[Signature], Attorney for Applicant 8-8-24

OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

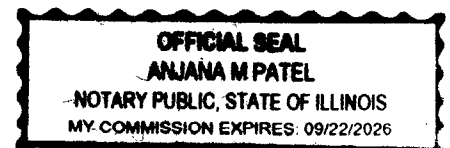
I, SHREYAS PATEL, being first duly sworn on oath depose and say that I am
Manager of St. Charles SS LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>SHREYAS PATEL</u>	_____
<u>SPACE SELF STORAGE LLC</u>	_____
<u>TRIDENT HOLDINGS LLLP</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 31st day of
July, 2024.

Anjana M. Patel
Notary Public



CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

Use this form for PUD or PUD Amendment applications

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether the proposed Planned Unit Development is in the public interest. As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

PUD Name: Corporate Reserve

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):

- A. Public Convenience:** The Special Use will serve the public convenience at the proposed location.

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- B. Sufficient Infrastructure:** That adequate utilities, access roads, drainage and/or necessary utilities have been, or are being, provided.

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- C. Effect on Nearby Property:** That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- D. Effect on Development of Surrounding Property:** That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.**

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.**

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

SEE EXHIBIT A ATTACHED HERETO FOR RESPONSE.

EXHIBIT A TO SPECIAL USE APPLICATION

STATEMENT OF PROPOSED USE AND SPECIAL USE STANDARDS

FOR AMENDMENT TO THE CORPORATE RESERVE PUD

PETITIONER (SPACE SELF-STORAGE LLC)

Space Self-Storage LLC is a locally based company and headquartered in Itasca, IL. It has two existing modern self-storage centers that it has previously developed which are located at the following addresses: 245 West Park Loop, Alabama 35806 and 11008 Greenwood St., Lenexa, KS 62215. Space Self-Storage's mission is to build very high quality climate controlled self-storage centers with a modern upscale appearance utilizing a blend of high grade building materials such as brick, concrete, stone and steel. It's typical building design seeks to incorporate an array of architecturally significant building designs features to have its self-storage centers be a focal point and desired service in the community while also promoting safety with its high tech CCTV security surveillance systems and other safety features. Space Self Storage typically uses national managers such as CubeSmart or Extra Space to manage its centers as they have managed over thousands of storage centers throughout the United States at a very high level of service and expertise.

GENERAL DESCRIPTION OF PROJECT

The project will include a three story climate controlled indoor self-storage center with associated parking. The building will include a drive thru at the west side of the building for customer loading and unloading storage items. The proposed indoor storage facility will contain approximately 121,458 gross square feet of building floor area with a modern chic appearance utilizing a blend of high quality brick, steel, cast stone and concrete to foster an aesthetically pleasing appearance that compliments both the surrounding area and community at large. The proposed building facade is consistent with the first class trend of development along the IL-64 corridor. see enclosed building elevations and colored renderings for further details of building appearance and construction.

The storage center will generally only have one (1) employee on site at a time with a small front office area for customers to visit when coming to the property. The office is generally staffed from 8:30am to 6:00pm, but may vary slightly. The storage units are generally accessible from the hours of 6:00am to 10pm and require a tenant to enter their keycode when entering and existing.

The proposed building will include high efficiency led lighting, CCTV cutting edge security video surveillance system, competitive price points, well designed landscaping, irrigation and utility systems. The Space self storage facility is in a class of its own and separates itself from all other

competitors with its superior quality and features which will greatly benefit the public at large in St. Charles.

SITE ACCESS. The building will be accessed by a full service new entrance road to be constructed by petitioner on the property off Woodward Avenue as depicted on the attached site plan. There will be adequate directional signage directing incoming and outgoing vehicular traffic onto and exiting the property to minimize any onsite traffic congestion. The proposed drive will create sufficient spacing, turning radius and area to safely accommodate fire trucks and customers entering and leaving the property.

PARKING. A total of 15 parking spaces are proposed for the project as more fully provided on the attached site plan. Pursuant to the BC Zoning District, 1 parking space is to be provided per 10 storage units. The preliminary floor plan design shown on the architectural drawings for the proposed indoor storage center is estimating approximately 659 total storage units at this time and will contain no more than a maximum of 850 units. ***Only a total of 5 parking spaces is necessary for this indoor self-storage center.*** See attached letter from Cubesmart dated May 13, 2024 which is one of petitioner's national operators which substantiates the need for only 5 parking spaces. However, as noted, Petitioner is proposing triple that amount of parking spaces. The attached letter states that based on this operator's experience who manages thousands of self-storage facilities throughout the Country, the parking needs for an average sized self-storage facility (100,000 gross sq ft facility) is five parking spaces. The low number of parking spaces needed is due to the low customer volume and frequency of customer visits at any given time. Five (5) parking spaces, along with an area for loading/unloading goods, are adequate for a self storage facility. An average storage only facility rents 30 units per month, which is only 1 per day. Once the customer has rented the unit, they typically make their payments online, or through the mail. Customers rarely ever access their stored items. The average length of a storage lease is 13 months per customer.

Further, the Life Storage facility at 2625 main street has 11 customer parking spaces and 500 N. Kirk Road Life Storage facility has 3 customer parking spaces. The Metro self storage facility which has comparable size to the proposed self storage facility has only 12 parking spaces. The proposed project is comparable to these other centers in St. Charles with parking counts and storage units/building size.

Based on the proposed off-street parking proposed for the project Petitioner is requiring a modification to the existing Corporate Reserve PUD.

GROSS BUILDING FLOOR AREA. The Corporate Reserve PUD provides that the maximum gross floor area per building on the BC Parcel is 75,000 s.f. However, the Corporate Reserve PUD provides that the maximum gross floor area to be developed within the BC Parcel shall be 135,000 s.f. The adjacent daycare in the BC Parcel consist of approximately 12,000 sf. Therefore, the combined maximum floor area between the day care center and Petitioner's indoor storage

facility would be under the 135,000 sf requirement. ***Based on the 75,000 s.f. per building maximum gross floor area requirement Petitioner is seeking an amendment to the Corporate Reserve PUD to accommodate the size of the proposed Self-Storage Center. When the 75,000 s.f. per building limitation was put in place in the Corporate Reserve PUD the subject property was one large lot which was subdivided into two lots with the day care property being one lot and the subject property being the other.***

EXTERIOR LIGHTING

See attached photometrics plan which shows that there is zero or very minimal amount of spillage of candle light at all four property lines of the property so the surrounding residences and businesses will not be affected by the onsite lighting at the project.

UTILITIES & STORMWATER DRAINAGE

The existing and planned utilities serving the proposed development will be more than adequate. the total site impervious area for the proposed development will be approximately 47.9% of the subject property. The existing water line in Woodward Avenue will be extended to the proposed building. Sanitary sewer will be connected to the existing sanitary stub located at northeast portion of subject property and connect to the existing sanitary sewer line on the property which travels west across the subject property to the adjacent daycare property. The proposed development will utilize a new Infiltration Basin BMP in compliance with the Kane County best stormwater management practices to be located at the southwest section of the subject property. Stormwater will be piped underground through new roof drains to catch basins on the subject property that will drain into the new infiltration basin and then ultimately drain into the southwest detention pond located west of the adjacent daycare center. The Space Self Storage facility is in a class of its own and separates itself from all other competitors with its superior quality and features which will greatly benefit the public at large in St. Charles.

LANDSCAPING

Petitioner will be adding a surplus array of high quality landscaping to the property which will include a variety of high quality shade trees, evergreen trees, deciduous shrubs, evergreen shrubs and ornamental grasses. The existing trees are mostly preserved. Landscape buffers are provided on all sides of the subject property in accordance with the City landscape and zoning requirements. See attached landscaping plan for more details on the landscaping to be provided for the project and tree preservation plan.

EXISTING ZONING & SURROUNDING USES

The property is zoned BC, Planned Unit Development within the Corporate Reserve PUD. Petitioner's proposed use of the property as an indoor self-storage center is a permitted use within the Corporate Reserve PUD. The project will require City approval for a change to the

existing Corporate Reserve PUD for the parking and building gross floor area requirements as set forth above.

The surrounding properties have the following uses and zoning classifications:

West- directly west of property is the daycare center which is zoned BC within the corporate reserve.

East- directly east is the tractor supply company zoned BC within the corporate reserve.

South- directly south across main street (IL 64) is residential zoned RM-2 PUD 35 Renaux Manor.

North- directly to the north across Woodward Drive is residential zoned or PUD 88 the Corporate Reserves.

PUD AMENDMENT STANDARDS

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances ***one or more*** of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.

2. To create places oriented to the pedestrian that promote physical activity and social interaction,

including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.

3. To encourage a harmonious mix of land uses and a variety of housing types and prices.

4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.

5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.

6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community.

RESPONSE:

ST. CHARLES HAS A SHORTAGE OF INDOOR STORAGE CENTERS WITH ONLY A FEW. THE PROPOSED INDOOR STORAGE FACILITY IS OF HIGH QUALITY ARCHITECTURAL DESIGN AND IS SELF CLIMATE CONTROLLED. THE BUILDING DESIGN BODES A MODERN CHIC APPEARANCE UTILIZING A BLEND OF HIGH QUALITY BRICK, STEEL, CAST STONE AND CONCRETE CREATING AN AESTHETICALLY PLEASING APPEARANCE THAT COMPLIMENTS BOTH THE SURROUNDING AREA AND COMMUNITY AT LARGE IN A UNIQUE AND BENEFICIAL WAY TO THE COMMUNITY AND SURROUNDING USES. THE PROPOSED BUILDING FACADE IS CONSISTENT WITH AND EXCEEDS THE FIRST CLASS TREND OF DEVELOPMENT ALONG THE IL-64 CORRIDOR. THE PROPOSED BUILDING WILL INCLUDE HIGH EFFICIENCY LED LIGHTING, CCTV CUTTING EDGE SECURITY VIDEO SURVEILLANCE SYSTEM, COMPETITIVE PRICE POINTS, WELL DESIGNED LANDSCAPING, NEW IRRIGATION AND UTILITY SYTEMS. THE SPACE SELF STORAGE FACILITY IS IN A CLASS OF ITS OWN AND SEPARATES ITSELF FROM ALL OTHER COMPETITORS AND OTHER STORAGE CENTERS IN ST. CHARLES WITH ITS SUPERIOR QUALITY AND FEATURES AS DESCRIBED HEREIN WHICH WILL GREATLY BENEFIT THE PUBLIC AT LARGE IN ST. CHARLES. THE PROPOSED STORAGE CENTER WILL BECOME AN INTEGRAL PART OF THE COMMUNITY BASED ON ITS UNIQUE ARCHITECTURAL DESIGN, SAFETY FEATURES AND SERVICES PROVIDED. THE PROPOSED INDOOR STORAGE FACILITY HAS BEEN CAREFULLY DESIGNED IN ACCORDANCE WITH THE SITE DESIGN REQUIREMENTS SET FORTH IN SECTION 17.06.030 OF THE CITY ZONING ORDINANCE. SEE ENCLOSED SITE PLAN, LANDSCAPING PLANS, ENGINEERING PLANS, RENDERINGS AND ELEVATIONS FOR THE BUILDING DESIGN AND PROPERTY FEATURES.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review

Standards contained in Chapter 17.06, except where:

A. Conforming to the requirements would inhibit creative design that serves community goals, or

B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

RESPONSE: BASED ON THE TREMENDOUS COSTS TO BUILD AND DESIGN THE PROPOSED SELF-STORAGE CENTER WITH ITS HIGH END BUILDING DESIGN AND CONSTRUCTION MATERIALS,

PETITIONER WILL NEED TO HAVE A GROSS FLOOR BUILDING AREA AT 121,458 SQUARE FEET TO HAVE ENOUGH STORAGE UNITS TO BE PROFITABLE. AS PROVIDED ABOVE, ONLY 5 PARKING SPACES ARE NEEDED AS THERE ARE TYPICALLY ONLY AROUND 1 CUSTOMER A DAY ON AVERAGE THAT VISITS THE STORAGE CENTER. ADDING ADDITIONAL PARKING SPACES TO SATISFY THE EXISTING CITY PARKING REQUIREMENTS FOR THIS TYPE OF USE WOULD BUT AN UNDUE FINANCIAL BURDEN ON THIS PROJECT THAT WOULD HAVE A MATERIAL ADVERSE AFFECT CAUSING THE PROJECT TO NOT BE FEASIBLE AND PROFITABLE.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

RESPONSE: SEE ABOVE RESPONSES AND INFORMATION PROVIDED IN THIS EXHIBIT A ALONG WITH THE ENCLOSED SITE PLAN, BUILDING ELEVATIONS, COLORED RENDERINGS, ENGINEERING PLANS, LANDSCAPE PLANS AND FILED DOCUMENTS WITH PETITION WHICH COLLECTIVELY SATISFY REQUIREMENTS 1-9 AND ARE INCORPORATED HEREIN BY REFERENCE.

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

RESPONSE: AS PROVIDED ABOVE, ST. CHARLES ONLY HAS A FEW SELF-STORAGE CENTERS AND NONE OF WHICH ARE COMPARABLE TO THE HIGH QUALITY ARCHITECTURAL DESIGN AND OTHER FEATURES OF THE PROPOSED SELF-STORAGE FACILITY AS MORE FULLY OUTLINED ABOVE. THE PUBLIC WOULD BE GREATLY SERVED WITH THIS UNIQUE, HIGH QUALITY, SELF STORAGE CENTER THAT TRULY SEPARATES ITSELF WITH ITS HIGH QUALITY DESIGN, COMPETITIVE PRICING ON STORAGE LEASES, EASY SITE ACCESS, SAFETY FEATURES AND STORAGE SERVICES.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary utilities have been, or are being, provided.

RESPONSE: As provided above in further detail, adequate site utilities, drainage and access road are being provided. Please also refer to enclosed engineering plans.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

RESPONSE: THE PROPOSED STORAGE CENTER IS ALREADY A PERMITTED USE IN THE BC ZONING DISTRICT. THE PROJECT WILL BE OF TREMENDOUS BENEFIT TO THE PUBLIC IN ST. CHARLES FOR THE REASONS CITED HEREIN THIS APPLICATION AND WILL OFFER A SAFE, HIGH QUALITY CLIMATE CONTROLLED INDOOR STORAGE FACILITY STATE OF THE ART IN QUALITY FOR THE REGION. THE ADJACENT PROPERTY TO THE EAST OF THIS SITE IS TRACTOR SUPPLY AND THE DIRECTLY WEST IS THE DAY CARE. THE PROPOSED STORAGE FACILITY COMPLIMENTS THESE EXISTING USES AND THE SURROUNDING RESIDENTIAL USES AND INCORPORATES HIGH TECH SECURITY SAFETY SURVEILLANCE SYSTEMS. THE INDOOR STORAGE CENTER IS A LOW INTENSITY USE WITH VERY LITTLE TRAFFIC COMING INTO AND OUT OF THE SITE. ON A MONTHLY BASIS, THE SITE WILL ONLY GENERATE AROUND 15 TO 30 CUSTOMER VISITS ON AVERAGE PER MONTH WHICH IS LESS THAN 1 CUSTOMER A DAY COMING TO THE SITE. MUCH OF THE CUSTOMER STORAGE LEASES IS DONE ONLINE AND THEN THE STORAGE UNITS ARE ONLY VISITED ON AN OCCASIONAL BASIS. THIS EXTREMELY LOW TRAFFIC GENERATION BODES VERY WELL FOR THE SURROUNDING RESIDENTIAL. THE PROPOSED PROJECT WILL CREATE FAR LESS TRAFFIC THAN THE DAYCARE AND TRACTOR SUPPLY PROPERTIES WHICH ARE MUCH MORE INTENSE USES WITH SURROUDING RESIDENTIAL. BASED ON THE FOREGOING REASONS, THE PROPOSED PROJECT WILL NOT BE INJURIOUS TO THE SURROUNDING PROPERTIES AND WILL NOT DIMINISH OR IMPAIR PROPERTY VALUES NEGATIVELY.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding

property for uses permitted in the district.

RESPONSE: ALL OF THE PROPERTIES SURROUNDING THE SUBJECT PROPERTY ARE ALREADY DEVELOPED WITH EXISTING COMMERCIAL AND RESIDENTIAL USES. FURTHER, THE PROPOSED DEVELOPMENT WILL CONTINUE TO ACCELERATE FURTHER DEVELOPMENT ALONG THE IL-64 CORRIDOR AND SURROUNDING AREA.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

RESPONSE: SEE PETITIONER'S RESPONSE TO "C" ABOVE AND ALL OTHER RESPONSES AND INFORMATION PROVIDED IN THIS EXHIBIT A AND PETITION DOCUMENTS. THE ESTABLISHMENT, MAINTENANCE OR OPERATION OF THE PROPOSED CHANGE TO THE CORPORATE RESERVE PUD SPECIAL USE WILL NOT BE DETRIMENTAL TO OR ENDANGER THE PUBLIC HEALTH, SAFETY, COMFORT OR GENERAL WELFARE AS IT WILL ACTUALLY BENEFIT THE SURROUNDING PROPERTIES AND COMMUNITY AT LARGE FOR THE REASONS STATED HEREIN.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

RESPONSE: YES. SEE RESPONSES ABOVE AND PETITIONER'S FILED APPLICATION, INCLUDING THE NONRESIDENTIAL ZONING COMPLIANCE TABLE, ALONG WITH ITS FILED SITE PLAN, ENGINEERING PLAN, AND OTHER DOCUMENTS FILED BY PETITIONER WITH THE SPECIAL USE APPLICATION AND PUD PLAN PRELIMINARY PLAN APPLICATION. PETITIONER IS ONLY SEEKING TO MODIFY THE PARKING REQUIREMENTS AND GROSS BUILDING MAXIMUM FLOOR AREA PER BUILDING IN THE BC DISTRICT UNDER THE CORPORATE RESERVE PUD AS PROVIDED MORE FULLY HEREIN. ALL OTHER BULK STANDARDS (INCLUDING, BUT NOT LIMITED TO, BUILDING SETBACKS) ARE SATISFIED WITHOUT THE NEED FOR MODIFICATIONS TO THE PUD OR VARIANCES.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

RESPONSE: YES. SEE ALL RESPONSES ABOVE. THE PROPOSED PROJECT WILL FOSTER OTHER HIGH QUALITY COMMERCIAL DEVELOPMENT IN THE COMMUNITY AND BE BENEFICIAL TO DIVERSITY, TAX BASE AND ECONOMIC WELL BEING OF THE CITY. THE PROPOSED SELF STORAGE FACILITY AT THE SUBJECT PROPERTY IS A NECESSARY AND DESIRABLE USE AND SERVICE IN THE BEST INTEREST OF THE PUBLIC AND WOULD CONTRIBUTE TO THE GENERAL WELFARE OF THE PUBLIC AND COMMUNITY AT LARGE.

- v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

RESPONSE: YES. THE CITY'S COMPREHENSIVE PLAN SHOWS THE SUBJECT PROPERTY AS INDUSTRIAL/BUSINESS PARK. THE PROPOSED INDOOR SELF-STORAGE CENTER IS AKIN TO INDUSTRIAL AND BUSINESS PARK USES AND IS A PERMITTED USE IN THE BC DISTRICT.

City of St. Charles
Community Development Division
2 E. Main Street
St. Charles, IL 60174



Phone: (630) 377-4443
Email: cd@stcharlesil.gov

PUD PRELIMINARY PLAN APPLICATION

For City Use

Project Name: _____
Project Number: _____-PR-_____
Cityview Project Number: _____

Received Date

- *File this application to request approval of a PUD Preliminary Plan. Normally, this application is reviewed concurrently with an application for Special Use for PUD, unless a Special Use for PUD has previously been granted and no amendment is necessary.*
- *Complete the application and submit with all required attachments to the Community Development Division.*
- *The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.*
- *City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.*
- *The PUD Preliminary Plan will be scheduled for Plan Commission review when staff has determined the plans are ready.*

1. Property Information:	Location: IL 64 and Cardinal Drive, St. Charles, IL 60175	
	Parcel Number (s): 09-29-331-003	
	Proposed PUD Name: Part of Corporate Reserve PUD	
2. Applicant Information:	Name: ST. CHARLES SS LLC	Phone: 224-645-2028
	Address 1101 N. PROSPECT AVENUE ITASCA, IL 60143	Email: JR@space-selfstorage.com
3. Record Owner Information:	Name: ST. CHARLES, LLC	Phone:
	Address: 2505 E. 74th Avenue Denver, CO 80229	Email: dgryzmala@a-1chipseal.com

4. Identify the Type of Application:

- ☐ New proposed Planned Unit Development (PUD) – *Special Use Application to be filed concurrently*
- ☒ Existing Planned Unit Development (PUD)
- ☒ PUD Amendment required for proposed plan – *Special Use Application to be filed concurrently*

Subdivision:

- ☒ Proposed lot has already been platted and a new subdivision is not required.
- ☐ New subdivision of property is required:
- ☐ Final Plat of Subdivision Application filed concurrently
- ☐ Final Plat of Subdivision Application to be filed later

5. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Submit 1 copy of each required item, unless otherwise noted.

- ☒ APPLICATION FEE: \$500
- ☒ REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- ☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- ☒ PROOF OF OWNERSHIP: a) A current title policy report; or
b) A deed and a current title search

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- ☒ OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.
- ☒ LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- ☒ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- ☒ PLAT OF SURVEY: A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

- ☒ **SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION:** As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: <http://www.kanedupageswcd.org/>
- ☒ **ENDANGERED SPECIES REPORT:** As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>
- ☒ **STORMWATER MANAGEMENT:** Written information as described in the Stormwater Management Requirements for Preliminary Plans (attached).
- ☒ **PUBLIC BENEFITS, DEPARTURES FROM CODE:** A written statement describing how the PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations (departures) from the requirements of Title 16 "Subdivisions and Land Improvement" and Title 17 "Zoning" and provide a rationale for each requested deviation.
- ☒ **CONSTRUCTION SCHEDULE:** Indicate the following:
 - Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the Plat of Subdivision and through supporting material.
 - Approximate dates for beginning and completion of each phase.
- ☐ **PARK AND SCHOOL LAND/CASH WORKSHEETS:** *For residential developments only.* Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.
- ☐ **INCLUSIONARY HOUSING WORKSHEET:** *For residential developments only.* Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.

PLANS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

- ☐ **PRELIMINARY PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST:** If the PUD Preliminary Plan involves the subdivision of land, submit a Preliminary Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Subdivision Plat Drawing Requirements Checklist (attached).
- ☒ **PRELIMINARY ENGINEERING PLANS / DRAWING REQUIREMENTS CHECKLIST:** Plans shall include the following information. Also submit a completed Drawing Requirements Checklist- Preliminary Engineering Plans.
 1. Accurate boundary lines with dimensions
 2. Existing and proposed easements: location, width, purpose
 3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
 4. Location, size, shape, height, and use of existing and proposed structures

5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermain, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

☒ **ARCHITECTURAL PLANS:** Architectural plans and data for all principal buildings with sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed-use buildings, total floor area and total building coverage of each building.

☒ **TREE PRESERVATION PLAN:** When required, in accordance with Ch. 8.30 of the St. Charles Municipal Code (see attached "Tree Preservation Requirements for Preliminary Plans". This information may be included as part of the Landscape Plan set.

☒ **LANDSCAPE PLAN:** Landscape Plan showing the following information:

- Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
- Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
- Accurate property boundary lines
- Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
- Site area proposed to be landscaped in square feet and as a percentage of the total site area
- Percent of landscaped area provided as per code requirement
- Dimensions of landscape islands
- Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
- Location and identification of all planting beds and plant materials
- Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
- Landscaping of ground signs and screening of dumpsters and other equipment



SKETCH PLAN FOR LATER PHASES OF PUD: For phased PUDs only, submit a plan that shows, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date

Dennis J. Smith, Attorney for Applicant
Applicant or Authorized Agent

8-7-2024
Date

J. a Horney Sr. Applicant *8-8-24*



May 13th, 2024

Dear JR,

In discussion of your site located at 3050 W. Main Street St. Charles, IL, our experience proves the parking needs for an average sized self-storage facility (100,000 gross sq ft facility) is five parking spaces. The low number of parking spaces needed is due to the low customer volume and frequency of customer visits at any given time. Five parking spaces, along with an area for loading/unloading goods, are adequate for a self-storage facility.

An average storage only facility rents 30 units per month, which is only 1 per day. Once the customer has rented the unit, they typically make their payments online, or through the mail. They rarely access their stored items. The average length of stay is 13 months per customer.

About CubeSmart

CubeSmart is a self-administered and self-managed real estate investment trust. CubeSmart owns or manages 1,450+ self-storage facilities across the United States.

The Company's mission is to simplify the organizational and logistical challenges created by the many life events and business needs of its Customers -- through innovative solutions, unparalleled service, and genuine care. The Company's self-storage facilities are designed to offer affordable, easily accessible, secure, and, in most locations, climate-controlled storage space for residential and commercial customers.

CubeSmart Management currently provides all-inclusive third-party self-storage property management services for 850+ locations across the United States.

If you have further questions, please feel free to reach out directly. My email is eshea@cubesmart.com and my direct phone number is 610-535-5716

Sincerely,

Eric Shea
CubeSmart – Business Development Manager

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING SANITARY
	COMBINATION SEWER
	PROPOSED SANITARY SEWER
	PROPOSED COMBINATION SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED PERFORATED PIPE
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING TREE
	REMOVE TREE
	TEMPORARY TREE FENCE
	TEMPORARY SILT / CONSTRUCTION FENCE
	SUMP PUMP [PROPOSED/EXISTING]
	EJECTOR PUMP [PROPOSED/EXISTING]
	DOWNSPOUT (IN-GROUND) [PROPOSED]
	SWALE [PROPOSED]
	OUTLET / POP-UP EMITTER
	CATCH BASIN
	STORM MANHOLE
	SANITARY MANHOLE
	CLEANOUT
	B BOX
	WOOD UTILITY POLE
	LIGHT POLE
	FLARED END SECTION (F.E.S.)
	INLET / DRAIN
	WATER VALVE VAULT / WATER METER
	SIGN
	MANHOLE (UNCLASSIFIED)
	FIRE HYDRANT
	TREE TAG NO.
	STOP LIGHT
	GAS VALVE
	ROOT PRUNE
	AUGERING
	PATCHING
	TOP OF GARAGE SLAB
	TOP OF FOUNDATION
	FINISH FLOOR
	TOP OF WALL
	TOP OF WINDOW WELL
	CURB AND GUTTER ELEVATIONS

SW 1/4
SECTION: 29
TOWNSHIP: 40N
RANGE: 8E

SITE AERIAL PHOTO NOT TO SCALE

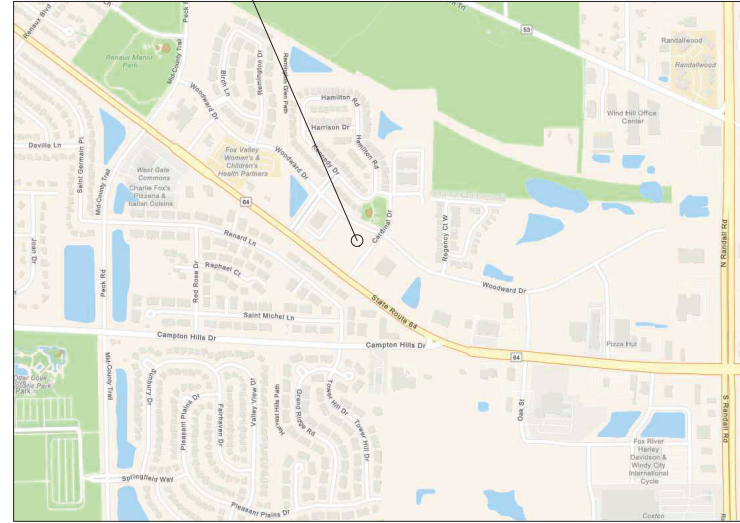


SPACE SELF STORAGE - ST CHARLES

SITE IMPROVEMENTS

IL ROUTE 64 & CARDINAL DRIVE, ST CHARLES, IL

SITE LOCATION MAP NOT TO SCALE



GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING JULIE FOR UTILITY LOCATES A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING EXCAVATION.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE.
3. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS AS REQUIRED, PRIOR TO COMMENCING CONSTRUCTION.
4. THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, AND ALL ADDENDA THERETO, AND CITY OF ST CHARLES REQUIREMENTS SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT.
5. THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, SHALL GOVERN THE UNDERGROUND WORK UNDER THIS CONTRACT, EXCEPT AS MODIFIED BY THESE SPECIFICATIONS, OR WHERE IN CONFLICT WITH CITY OF ST CHARLES STANDARDS.
6. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS AND CITY OF ST CHARLES REGULATIONS AND STANDARDS, AND SHALL CONFORM IN ALL RESPECTS TO ALL STATE AND FEDERAL LAWS AND REGULATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON JOB SITE.
7. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FILED LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITY LOCATIONS SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AND ARE FOR GENERAL DIRECTION ONLY.
8. CONSTRUCTION OPERATION SHALL BE CONDUCTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL, DEBRIS, ASPHALT AND CONCRETE ONTO PUBLIC THOROUGHFARES. AT THE END OF EACH DAY, THE CONTRACTOR SHALL REMOVE MATERIALS DEPOSITED ONTO PUBLIC STREETS AND ALLEYS.
9. PUBLIC STREETS AND ALLEYS SHALL BE RESTORED PROMPTLY MEETING CITY OF ST CHARLES STANDARDS AND SPECIFICATIONS.
10. THE CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCES.
11. APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK.
12. ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.

SITE PLAN NOTES:

- A. SITE LAYOUT HAS BEEN PREPARED BASED UPON OWNER DIRECTION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT OWNER DIRECTION CHANGES MAY EXIST, THEREFORE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- B. ALL PROPOSED CURB AND GUTTER SHALL BE 6-12 BARRIER CURB UNLESS OTHERWISE NOTED.
- C. EXISTING TOPOGRAPHY BY BOND CONSULTING. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO: ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- E. SITE BOUNDARY INFORMATION TAKEN FROM ALTA SURVEY BY CBRE.
- F. BUILDING IMPROVEMENTS HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT LOCATIONS AND DIMENSIONS OF UTILITY ENTRANCE LOCATIONS.
- G. THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
- H. NO SPECIAL CONDITIONS WERE PRESENT ON THIS SITE.
- I. ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
- J. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

SITE BENCHMARK IS CUT CROSS ON WEST NORTHWEST BB FIRE HYDRANT ON WEST SIDE CARDINAL DRIVE ELEVATION 777.481, TRANSFERRED FROM NGS BM NORTH 19 ELEVATION 696.45 NAVD 88.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892-0123

PIN: 09-29-331-003

PROJECT NARRATIVE

GENERAL: CONSTRUCTION OF NEW 3-STORY SELF STORAGE FACILITY WITH ASSOCIATED PARKING AND UTILITY SERVICES.

AREA SUMMARY: TOTAL AREA OF SITE: 2.881 ACRES (125,497 sq ft) DISTURBED AREA OF SITE: 2.881 ACRES

SPECIAL PROTECTION AREAS: NO FLOODPLAIN WITHIN 100' OF SITE. NO WETLANDS WITHIN 100' OF THE SITE.

UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA FOR THE SITE.

DETENTION/VOLUME CONTROL FACILITY: NO STORMWATER MANAGEMENT REQUIRED - SITE IS TRIBUTARY TO SOUTHWEST POND OF "THE CORPORATE RESERVE RESERVE SUBDIVISION"

SANITARY SEWERS: PRIVATE SANITARY SEWER SERVICE TO EXISTING PUBLIC SEWER ALONG WOODWARD DRIVE. PUBLIC SANITARY SEWER OWNED BY CITY OF ST CHARLES

STORM SEWER: ON-SITE PRIVATE STORM SEWER SYSTEM CONNECTS TO PUBLIC STORM SEWER, CONNECTION AT SW CORNER OF PUBLIC STORM SEWER, CONNECTION AT SW CORNER OF PUBLIC STORM SEWER, CONNECTION AT SW CORNER OF PUBLIC STORM SEWER OWNED BY CITY OF ST CHARLES

WATERMAIN: PRIVATE WATER SERVICE TO EXISTING PUBLIC WATER MAIN ALONG WOODWARD DRIVE. PUBLIC WATER MAIN OWNED BY CITY OF ST CHARLES

SOILS/INfiltration RATE: POOR - EXISTING CLAY SOIL

SEASONAL HIGH GROUNDWATER ELEVATION: APPROXIMATELY 10' DEEP.

LEGAL DESCRIPTION:

LOT 2 IN THE FINAL PLAT OF RESUBDIVISION OF THE CORPORATE RESERVE OF ST. CHARLES LOT 2, BEING A RESUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 20, 2017 AS DOCUMENT NUMBER 2017K055171, IN KANE COUNTY, ILLINOIS.

PERPETUAL NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN THE ACCESS EASEMENT AND MAINTENANCE AGREEMENT RECORDED OCTOBER 20, 2017 AS DOCUMENTED NUMBER 2017K055174, IN KANE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: IL 64 & CARDINAL DRIVE, ILLINOIS.

		I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.	
SIGNATURE:		DATE: 01-16-25	
MY LICENSE EXPIRES ON NOVEMBER 30, 2025			
NO.		DESCRIPTION	
C-0	COVER SHEET		
C-0.1	EXISTING CONDITIONS SOIL EROSION & SEDIMENTATION CONTROL PLAN		
C-0.2	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)		
C-1	SITE PLAN		
C-2	UTILITY PLAN		
C-3	GRADING PLAN		
C-3.1	DETAILED ADA GRADING PLAN		
C-4.0	EROSION CONTROL DETAILS		
C-4.1	SITE PLAN DETAILS		
C-4.2	STORM SEWER DETAILS		
C-4.3	SANITARY SEWER AND WATER MAIN DETAILS		
C-4.4	ADS BARRICAUDA MAX DETAILS		

REVISIONS		DATE	BY	APP'D
1	ISSUE			
2	PROJECT MANAGER			
3	ENGINEER			
4	PROJECT ENGINEER			
5	PROJECT ENGINEER			
6	PROJECT ENGINEER			
7	PROJECT ENGINEER			
8	PROJECT ENGINEER			
9	PROJECT ENGINEER			
10	PROJECT ENGINEER			
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COVER SHEET
SPACE SELF STORAGE - ST CHARLES
IL ROUTE 64 & CARDINAL DR., ST CHARLES, IL.

SHEET NUMBER
C-0

SITE BENCHMARK IS CUT CROSS ON WEST NORTHWEST BB
FIRE HYDRANT ON WEST SIDE CARDINAL DRIVE ELEVATION
777.481, TRANSFERRED FROM NGS BM NORTH 19
ELEVATION 696.45 NAVD 88.

NOTE:

EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY.
THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE
FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS
A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION
SHOWN IS BASED ON THE PLAT OF SURVEY RECORDED FROM THE
OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BCI'S
SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON
IS TAKEN FROM OFFICIAL PLATS AND RECORDS

LOCATION OF UNDERGROUND UTILITIES WHERE NOT
SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN
FROM RECORDS NORMALLY CONSIDERED RELIABLE.
NO RESPONSIBILITY FOR THEIR ACCURACY IS
ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.L.E. @
1-800-892-0123 BEFORE DIGGING

LOCATIONS OF EXISTING UTILITY SERVICES
ARE BASED ON VISUAL OBSERVATIONS.
CONTRACTOR MUST CONFIRM LOCATION AND
CONDITION OF ALL UTILITY SERVICES TO REMAIN.

LEGAL DESCRIPTION:

LOT 2 IN THE FINAL PLAT OF RESUBDIVISION OF THE
CORPORATE RESERVE OF ST. CHARLES LOT 2, BEING A
RESUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 29,
TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD
PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF
RECORDED OCTOBER 20, 2017 AS DOCUMENT NUMBER
2017K055171, IN KANE COUNTY, ILLINOIS.

PERPETUAL NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF
PARCEL 1 FOR VEHICULAR AND PEDESTRIAN INGRESS AND
EGRESS AS SET FORTH IN THE ACCESS EASEMENT AND
MAINTENANCE AGREEMENT RECORDED OCTOBER 20, 2017 AS
DOCUMENTED NUMBER 2017K055174, IN KANE COUNTY,
ILLINOIS.

COMMONLY KNOWN AS: IL 64 & CARDINAL DRIVE, ILLINOIS.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. Install row silt fence prior to any earth disturbing activities.
2. Contractor to construct and use construction entrance.
3. Contractor to install inlet filter in existing and proposed structures.
4. Contractor to remove any mud tracked onto existing pavement every night.
5. A concrete washout should be provided on-site. Concrete cannot be washed out into the public right-of-way or storm sewer system.

DEMOLITION NOTES

1. Contractor shall remove the existing pavement and utilities as shown.
2. All trenches created by removing utilities shall be backfilled with trench backfill.
3. All demolition debris shall be properly disposed of.

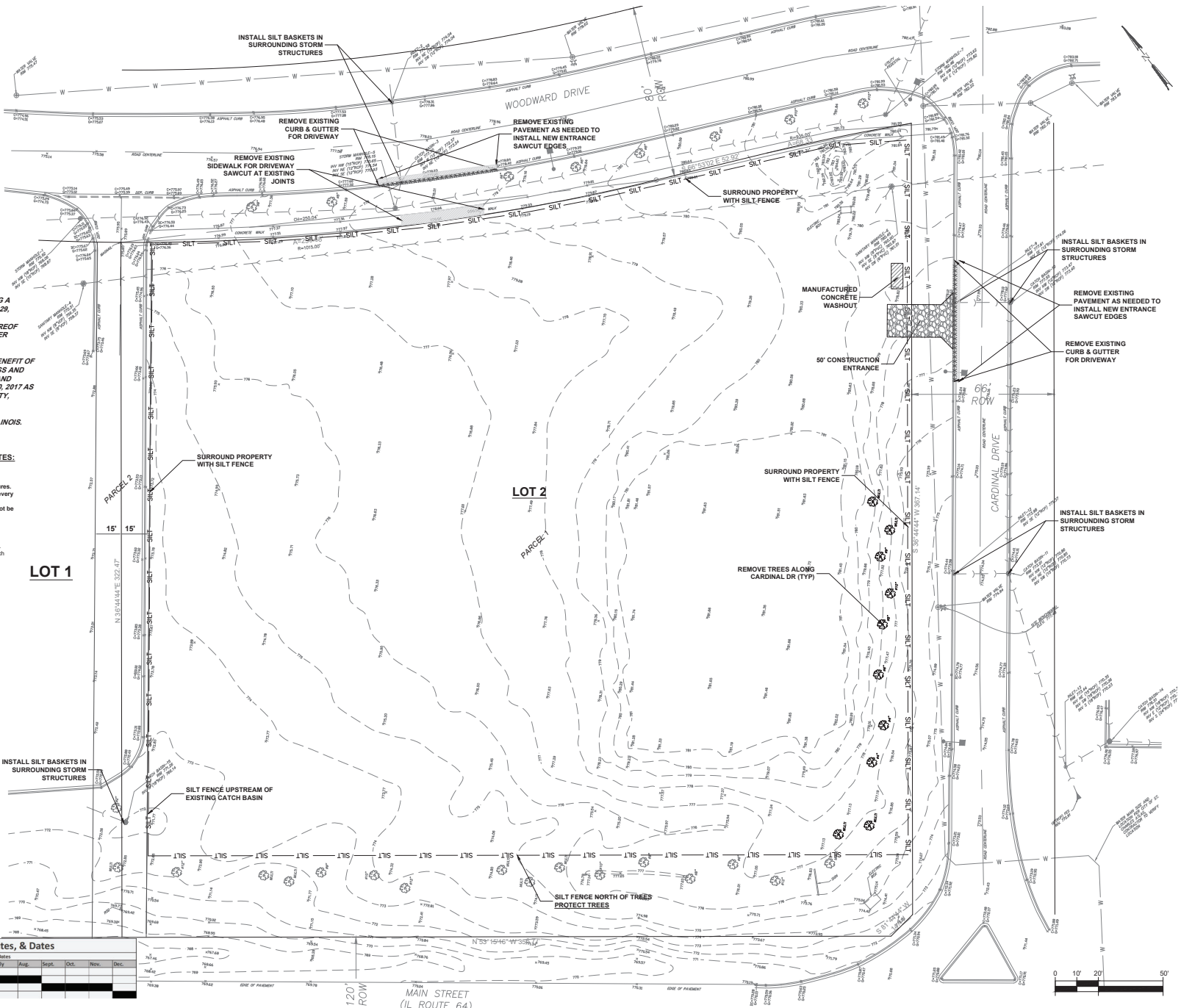
LOT 1

LOT 2

SEEDING INFORMATION
TEMPORARY SEEDING TO BE PROVIDED FOR ALL DISTURBED AREAS THAT WILL NOT BE
DISTURBED FOR MORE THAN 14 DAYS
CONTRACTOR TO SEED OR SOO ALL DISTURBED AREA.

TURF GRASS SEED MIX:
FURNISH AND APPLY SUNNY TURF GRASS SEED MIX (TIMOTHY 33.3%,
ORCHARDGRASS 33.3%, KENTUCKY BLUEGRASS 33.3%, PERENNIAL RYEGRASS 3.3%,
LIBRA AND COMMON CATS-30 LBS/ACRE FOR A TOTAL 90 LBS/ACRE.
OVERSEED WITH 14 LBS/ACRE ANNUAL RYE. SEEDING MUST COMMENCE WITHIN 1
WEEK OF THE COMPLETION OF FINAL GRADING.

Temporary Seeding, Species, Rates, & Dates												
Species	lbs./acre	Jan.	Feb.	March	April	May	June	July	Aug.	Sept.	Oct.	Nov.
Oats	90											
Corral Rye	90											
Winter Wheat	90											
Winter Mulch	25											



DATE: 11/13/2024

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/13/2024	ISSUED FOR PERMIT
2	11/13/2024	REVISIONS TO PERMIT
3	11/13/2024	REVISIONS TO PERMIT
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6	11/13/2024	REVISIONS TO PERMIT
7	11/13/2024	REVISIONS TO PERMIT
8	11/13/2024	REVISIONS TO PERMIT

PROJECT STAFF:

ROLE	NAME
PROJECT MANAGER	IL. KANAKA
DESIGNER	IL. KANAKA
CHECKER	IL. KANAKA
APPROVER	IL. KANAKA

BCI CONSULTING

1100 N. RIVERVIEW DRIVE, SUITE 110
MILWAUKEE, WI 53212
TEL: 414.224.1100
WWW.BCI-CONSULTING.COM

EXISTING CONDITIONS
SOIL EROSION & SEDIMENTATION CONTROL PLAN
SPACE SELF STORAGE - ST CHARLES
IL ROUTE 64 & CARDINAL DR., ST CHARLES, IL.

CONTRACT: THIS DRAWING SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER.

PROJECT NO.: 240749

BASE FILE:

SHEET FILE:

ISSUE DATE: NOV 13, 2024

SCALE: 1"=20' 0"

SHEET NUMBER: C-0.1

SITE DATA:

PIN: 09-29-331-003

TOTAL SITE AREA: 2.881 ACRES (125,497 sq ft)

PROPOSED OFF STREET PARKING: 15 SPACES
(14 - 9' x 18' & 1 - 16' x 18' ADA)

PROPOSED LOADING AREA: WITHIN BUILDING
(DRIVE THRU)

IMPERVIOUS AREA: 58,209 sq ft (1.34 ac) 46.4%

BUILDING 41,986 sq ft
PAVEMENT 15,207sq ft
SIDEWALK 1,016 sq ft

PAVEMENT LEGEND	
	PARKING LOT PAVEMENT: 1 1/2" BITUMINOUS SURFACE COURSE, SUPERPAVE, MIX D, N50 3 1/2" BITUMINOUS BINDER COURSE, SUPERPAVE, IL-15, N50 12" AGGREGATE BASE COURSE CA-6, TYPE B
	DOT STANDARD B-6.12 CURB & GUTTER
	DOT STANDARD B-6.12 DEEPENED CURB & GUTTER
	DOT STANDARD B-6.12 REVERSE PITCH CURB & GUTTER
	CONCRETE APRON & STOOP AT DRIVE-THRU: 6" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE CA-6
	SEWERIAL & STOPS AT MANHOLES: 6" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE CA-6

PAVEMENT STRIPING & SIGNAGE NOTES:

- INTERIOR PARKING SPACES ARE AS NOTED.
- MARKINGS PAINT SHALL BE HIGH QUALITY TRAFFIC PAINT INTENDED FOR STRIPING ASPHALT PARKING LOTS.
COLOR: YELLOW
WIDTH: 4"
COVERAGE RATE: 450 FEET PER GALLON PER IDOT ARTICLE 780.

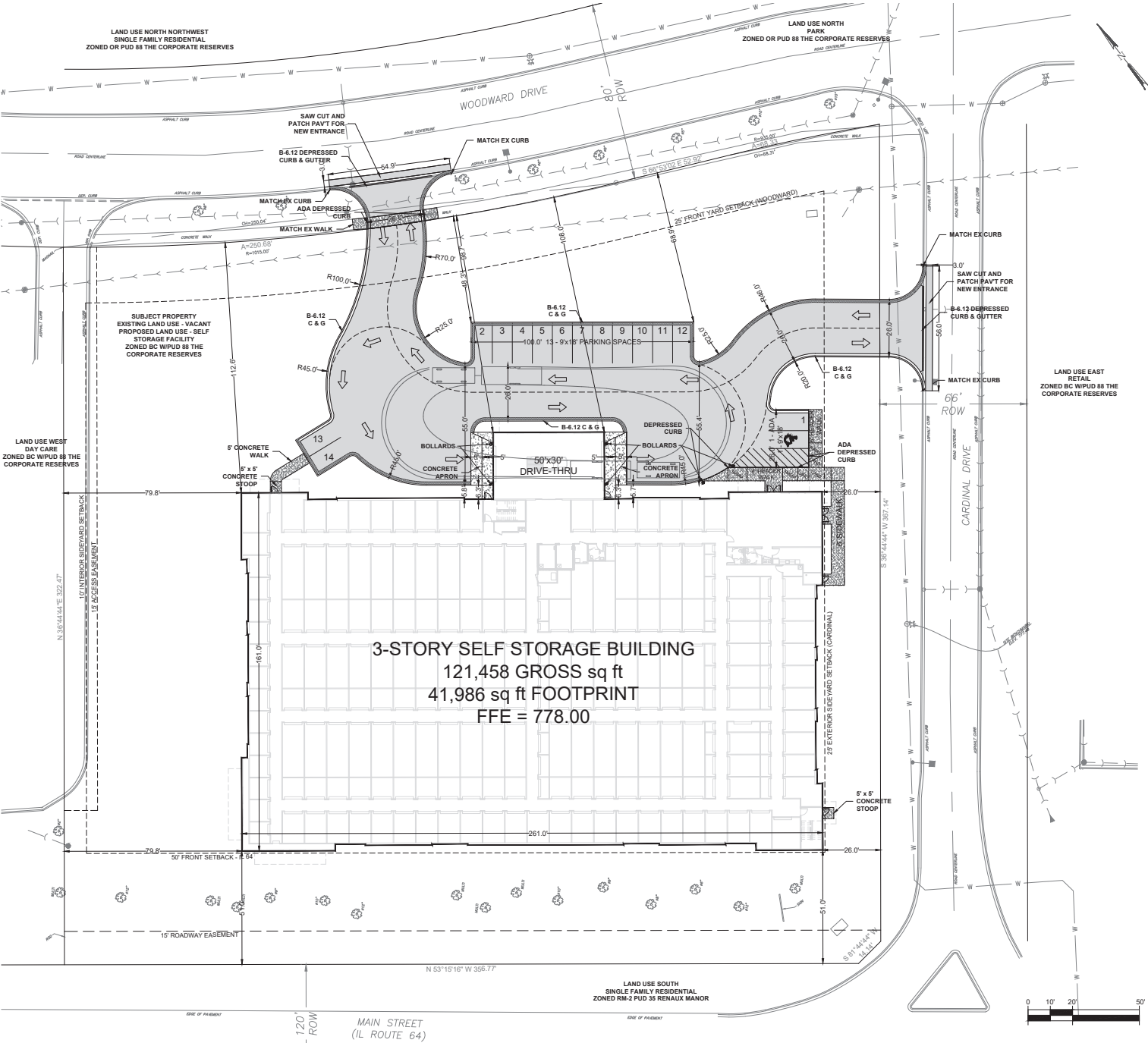
CONCRETE AND ASPHALT NOTES:


- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS SECTION 420. CONCRETE SURFACES MUST BE WARRANTED FOR ONE YEAR AGAINST ANY CRACKING, PONDING OR CRACKS OVER 1/4 WIDE.
- ALL CONCRETE SHALL BE MINIMUM 3,500 PSI.
- CLEAN, FULL DEPTH SAWCUTS THROUGH EXISTING SIDEWALK AND CURB SCHEDULED FOR REMOVAL.
- COMBINATION CURB & GUTTER IS 6" HIGH UNLESS OTHERWISE NOTED.
- A 3/4" FIBER EXPANSION JOINT SHALL BE INSTALLED WHEN THE NEW SIDEWALK OR CURB ABUTS ANY BUILDING.
- CONTRACTION JOINTS SHOULD BE SAWCUT A MINIMUM OF TWO INCHES DEEP WITHIN 4-12 HOURS OF CONCRETE PLACEMENT, BUT NO LATER THAN 24 HOURS AFTER CONCRETE PLACEMENT, BE IN ACCORDANCE WITH SECTION 420.05 IDOT STANDARD SPECIFICATIONS.
- MAXIMUM 50' C-C BETWEEN CONTRACTION JOINTS IN CURBS OR SIDEWALK.
- ASPHALT SHALL BE PLACED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATION SECTION 406. ASPHALT SURFACES MUST BE WARRANTED FOR ONE YEAR AGAINST BIRDBATHING/PONDING OF 1/2" STANDING WATER FOR AREAS GREATER THAN 25 SQUARE FEET.
- ALL PARKING LOTS TO BE PROOF ROLLED PRIOR TO PLACEMENT OF AGGREGATE SUBBASE AND AGAIN PRIOR TO INITIAL ASPHALT LIFT. PROOF ROLL TO BE DONE WITH LOADED DOUBLE AXLE DUMP TRUCK AND WITNESSED BY AN OWNERS REPRESENTATIVE.

LEGAL DESCRIPTION:
LOT 2 IN THE FINAL PLAT OF RESUBDIVISION OF THE CORPORATE RESERVE OF ST. CHARLES LOT 2, BEING A RESUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 20, 2017 AS DOCUMENT NUMBER 2017K055171, IN KANE COUNTY, ILLINOIS.

PERPETUAL NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN THE ACCESS EASEMENT AND MAINTENANCE AGREEMENT RECORDED OCTOBER 20, 2017 AS DOCUMENT NUMBER 2017K055174, IN KANE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: IL 64 & CARDINAL DRIVE, ILLINOIS.



C-1		SHEET NUMBER		SCALE: 1"=20'-0"		ISSUE DATE: NOV 13, 2024		SHEET FILE: PROJECT NO.: 2457-49		COPYRIGHT: THIS DOCUMENT SHALL NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BOND CONSULTING ENGINEERS IN WRITING BY THE ENGINEER.		IL ROUTE 64 & CARDINAL DR., ST CHARLES, IL.		SITE PLAN		SPACE SELF STORAGE - ST CHARLES		BOND CONSULTING ENGINEERS 1008 BROADWAY SUITE 100 ST. CHARLES, IL 62256 TEL: 618.336.8888 WWW.BONDCE.COM		 BOND CONSULTING ENGINEERS 1008 BROADWAY SUITE 100 ST. CHARLES, IL 62256 TEL: 618.336.8888 WWW.BONDCE.COM		PROJECT STAFF		ISSUE		REVISIONS		DATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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SANITARY SEWER NOTES:

1. FIELD VERIFY SANITARY SEWER LOCATION AND ELEVATION AND ALL CROSSINGS TO BE SURE SYSTEM WORKS AND ALL CONFLICTS ARE AVOIDED.
2. INSTALL NEW 6" SANITARY SEWER SERVICES AS SHOWN.
3. SEWER TO BE 6" PVC SDR 26 PER ASTM D-3034 AND PUSH ON JOINTS PER ASTM D-3212.
4. PROVIDE CA-7 TRENCH BACKFILL UNDER ALL PAVEMENT.
5. SANITARY MANHOLES TO BE PRE-CAST PER ASTM C478 WITH WATERTIGHT BOOT CONNECTIONS AND DOT TYPE 1 FRAME AND LID WITH "SANITARY" CAST INTO LID.
6. FOLLOW ALL REQUIREMENTS OF THE CITY OF ST CHARLES.
7. SANITARY SEWER SHALL BE AWWA C200 WATER MAIN QUALITY PIPE (OR APPROVED EQUAL WITH PRESSURE RATED JOINTS PER ASTM D-1319 WITHIN 10' OF ANY WATER MAIN/SERVICE CROSSING).
8. ALL MATERIALS SHALL COMPLY WITH THE CITY OF ST CHARLES PLUMBING CODE.

WATER NOTES:

1. FIELD VERIFY WATER MAIN LOCATION AND SIZE.
2. INSTALL NEW 6" WATER SERVICES AS SHOWN.
3. WATER PIPE TO BE 6" DUCTILE IRON, CLASS 52 PER ANSI/AWWA C151/A21.5 WITH CEMENT MORTAR LINING PER ANSI/AWWA C104/A21.4 AND PUSH ON JOINTS PER ANSI/AWWA C111/A21.11 AND POLYETHYLENE ENCASEMENT PER ANSI/AWWA C105/A21.5.
4. PROVIDE CA-7 TRENCH BACKFILL UNDER ALL PAVEMENT OR SCREENINGS.
5. VALVE VAULT TO BE PRE-CAST PER ASTM C478 WITH DOT TYPE 1 FRAME AND LID WITH "WATER" CAST INTO LID.
6. FOLLOW ALL REQUIREMENTS OF THE CITY OF ST CHARLES.
7. ALL MATERIALS SHALL COMPLY WITH CITY OF ST CHARLES PLUMBING CODE.
8. THE POTABLE AND FIRE SERVICE FLOWS MUST BE SPLIT INSIDE AND AN RPZ DEVICE PLACED ON THE FIRE SERVICE SERVICE WITHIN 24 INCHES OF THE SPLIT. THE POTABLE WATER LINE MUST HAVE A VALVE ON BOTH SIDES OF THE MATERIAL WITH THE UPSTREAM VALVE SERVING AS THE SHUT-OFF VALVE FOR THE CITY.

STORM SEWER NOTES:

1. FIELD VERIFY STORM SEWER LOCATION AND ELEVATION AND ALL CROSSINGS TO BE SURE SYSTEM WORKS AND ALL CONFLICTS ARE AVOIDED.
2. CONNECT TO EXISTING STORM SEWER STRUCTURE. FIELD VERIFY LOCATION AND ELEVATION PRIOR TO ANY STORM SEWER CONSTRUCTION.
3. STORM SEWER TO BE REINFORCED CONCRETE PIPE PER ASTM C76 OR PVC SDR 35 PIPE PER ASTM D2004.
4. CA-7 MUST BE USED FOR TRENCH BACKFILL UNDER PAVEMENT AND WITHIN THE ZONE OF INFLUENCE FOR CURB OR SIDEWALK. ZONE OF INFLUENCE IS 2FT BEYOND CONCRETE WORK.
5. STORM SEWER STRUCTURES TO BE PRE-CAST PER ASTM C478 WITH STEPS 16" ON CENTER PER ASTM C274.05.
6. STORM SEWER SHALL HAVE WATERTIGHT JOINTS PER ASTM C-443 WITHIN 10' OF ANY WATER MAIN/SERVICE CROSSING.
7. FOLLOW ALL REQUIREMENTS OF THE CITY OF ST CHARLES.
8. ALL MATERIALS SHALL COMPLY WITH CITY OF ST CHARLES ENGINEERING DESIGN MANUAL.

ROOF DRAIN NOTES:

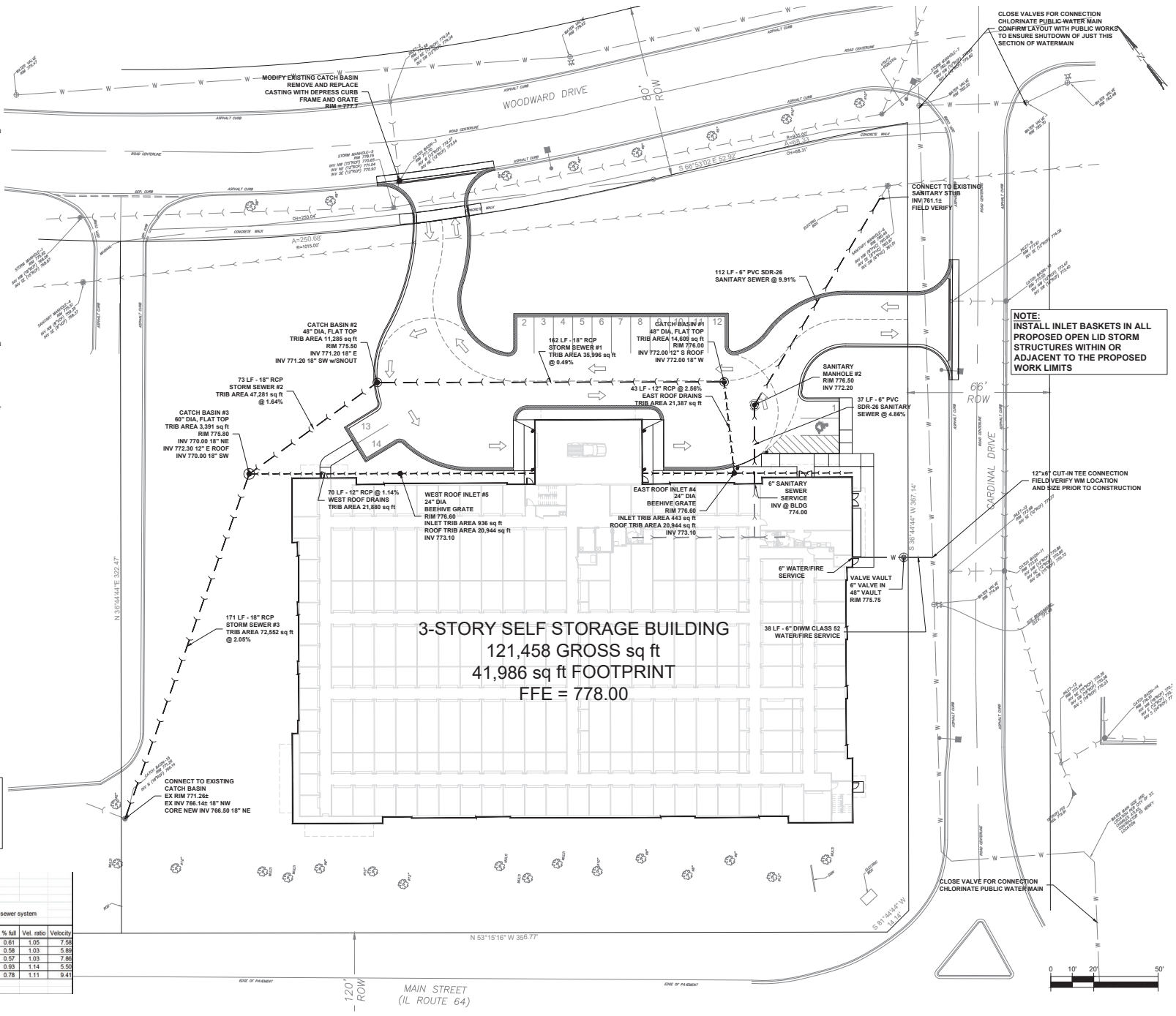
1. ROOF DRAINS TO BE 8" PVC SDR 26 PIPE AT A MINIMUM 1.00% SLOPE.
2. ROOF DRAINS TO BE C200 WATER MAIN QUALITY PIPE WITHIN 10' OF WATER SERVICE. SEE NOTE #6 UNDER STORM SEWER NOTES.
3. FIELD ENGINEER ALL SLOPES TO AVOID CONFLICTS WITH OTHER PIPES.
4. PROVIDE CA-7 TRENCH BACKFILL UNDER ALL PAVEMENT.

STORMWATER MANAGEMENT NOTES:

1. SITE IS SUBJECT TO KANE COUNTY STORMWATER ORDINANCE.
2. EXISTING IMPERVIOUS AREA = 0 sq ft
3. PROPOSED IMPERVIOUS AREA = 50,209 sq ft (46.4%)
4. PER CITY OF IMPERVIOUS AREA UNDER 50% DETENTION AND RETENTION PROVIDED BY REGIONAL DETENTION BASIN CONSTRUCTED WITH ORIGINAL SUBDIVISION.
5. NO STORMWATER MANAGEMENT PROPOSED FOR THIS DEVELOPMENT. REGIONAL STORMWATER DETENTION AND RETENTION PROVIDED BY THE SOUTHWEST POND OF "THE CORPORATE RESERVE SUBDIVISION" TO THE SOUTHWEST.

THERE IS AN EXISTING BLANKET EASEMENT OVER THE SUBJECT PROPERTY AND THE NEIGHBORING DAY CARE CENTER PROPERTY FOR THE PUBLIC UTILITIES, SIDEWALKS AND DRAINAGE, AND ACCESS EASEMENT, LANDSCAPE AND STORMWATER MANAGEMENT EASEMENT AND A BICYCLE AND PEDESTRIAN EASEMENT OVER LOT 2 IN THE CORPORATE RESERVE OF ST. CHARLES RECORDED AS DOCUMENT 2009K05931

Manning's Equations $Q = (1.486 / n) * AR^{2/3} * S^{1/2}$											
NE Illinois 10-yr, 5-min storm $I = 7.44$ in/hr											
Inter is to convey 10-yr, 5-min storm via storm sewer to the existing storm sewer system											
Pipe	C	I	A (ac)	Material	Q_{design}	Dia.	Slope	n	$AR^{2/3}$	$Q_{capacity}$	% full
1	0.95	7.44	1.09	RCP	3.47	12	2.26	0.013	0.31	5.70	0.61
2	0.95	7.44	1.09	RCP	3.64	18	1.64	0.013	0.92	10.08	0.58
3	0.95	7.44	1.09	RCP	7.67	18	1.64	0.013	0.92	13.45	0.57
4	0.95	7.44	1.09	RCP	3.35	12	2.26	0.013	0.31	3.80	0.93
5	0.95	7.44	1.09	RCP	11.77	18	2.05	0.013	0.92	15.04	0.78
6	0.95	7.44	1.09	RCP	11.77	18	2.05	0.013	0.92	15.04	0.78



DATE: 11/13/2024
BY: J. BOND
CHECKED: J. BOND
APPROVED: J. BOND

PROJECT NO.: 240749
SHEET NO.: 11 OF 12
ISSUE DATE: NOV 13, 2024
SCALE: 1\"/>

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UTILITY PLAN
SPACE SELF STORAGE - ST CHARLES
IL ROUTE 64 & CARDINAL DR., ST CHARLES, IL.

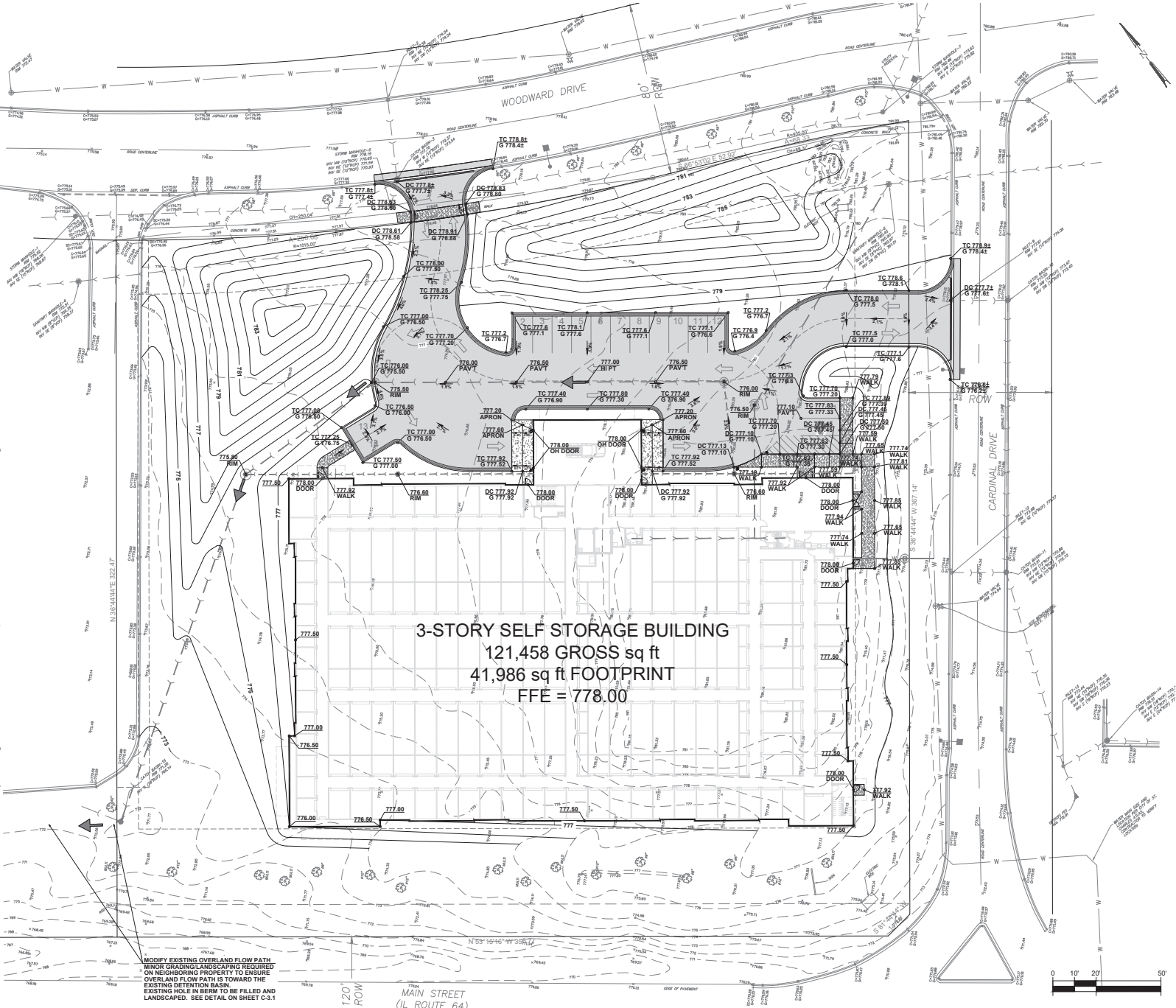
SITE BENCHMARK IS CUT CROSS ON WEST NORTHWEST BR
FIRE HYDRANT ON WEST SIDE CARDINAL DRIVE ELEVATION
777.481, TRANSFERRED FROM NGS BM NORTH 19
ELEVATION 696.45 NAVD 83

EARTHWORK NOTES:

1. ALL EXISTING FOUNDATIONS, PAVEMENT, AGGREGATE BASE, SOIL SURFACES, EXCAVATED SOIL AND VEGETATION SHALL BE REMOVED AND DISPOSED PROPERLY OFF SITE.
2. REMOVE SOFT OR OTHERWISE UNSUITABLE SUBGRADE MATERIALS.
3. EMBANKMENT SHALL BE PLACED IN ACCORDANCE WITH SECTION 205 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION." ALL EMBANKMENTS LOCATED WITHIN STRUCTURAL FILL AREAS SHALL BE CONSTRUCTED TO A MINIMUM 95% OF THE MODIFIED PROCTOR DENSITY (ASTM D1557). EMBANKMENTS LOCATED IN NON-STRUCTURAL FILL AREAS SHALL BE CONSTRUCTED TO A MINIMUM OF 90% OF THE MODIFIED PROCTOR DENSITY (ASTM D1557).
4. SUBBASE SHALL BE ADEQUATELY COMPACTED AND PROOF ROLLED WITH A LOADED SEMITRAILER PRIOR TO PLACING AGGREGATE BASE. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH AGGREGATE BASE.
5. FILL AND SUBGRADE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
6. ALL EARTHWORK SHALL BE DONE IN ACCORDANCE WITH THE STATE OF ILLINOIS, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION AND "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS," LATEST EDITION, INCLUDED IN THIS WORK, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING ARE: CLEARING, STRIPPING AND STOCKPILING OF TOPSOIL, MASS GRADING AND FINE GRADING OF THE SITE AND ROADWAYS, EXCAVATION OF UNSUITABLE MATERIALS AND EXCAVATION OF DETENTION PONDS, LANDSCAPE MOUND CONSTRUCTION, AND MISCELLANEOUS TOPSOIL, RESPIRED AND SEEDING.
7. ALL GRADING OPERATIONS ARE TO BE SUPERVISED AND INSPECTED BY THE OWNER'S ENGINEER OR THEIR REPRESENTATIVE. ALL TESTING, INSPECTION, AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL, AND ITS REPLACEMENT, AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER. NO UNDERCUT SHALL BE PERFORMED OR CLAIMS FOR EXTRA WORK WITHOUT AUTHORIZATION BY THE OWNER AND DOCUMENTATION BY THE SOILS ENGINEER.
8. AFTER STRIPPING AND EXCAVATING TO THE PROPOSED SUBGRADE LEVEL, AS REQUIRED, THE BUILDING AND PARKING AREAS SHOULD BE PROOF-ROLLED WITH A LOADED, TANDEM-AXLE DUMP TRUCK OR SIMILAR RUBBER Tired VEHICLE, LOADED WITH AT LEAST 4 TONS PER AXLE. PROOF-ROLLING AIDS IN PROVIDING A FIRM BASE FOR COMPACTION OF FILLS, AND HELP TO DELINEATE SOFT, LOOSE, OR DISTURBED AREAS THAT MAY EXIST BELOW SUBGRADE LEVEL. PROOF-ROLLING IS ESPECIALLY IMPORTANT TO HELP EVALUATE THE SURFACE STABILITY OF EXISTING FILL SOILS THAT MAY BE LEFT IN PLACE BELOW FLOOR SLABS AND PAVEMENTS. SOILS WHICH ARE OBSERVED TO RUT OR DEFLECT EXCESSIVELY (MORE THAN 1 INCH) UNDER THE MOVING LOAD SHOULD EITHER BE SCARIFIED AND RE-COMPACTED WITH A SMOOTH DRUM VIBRATORY ROLLER FOR GRANULAR SOILS, A SHEEPS FOOT ROLLER FOR COHESIVE SOILS, OR UNDERCUT AND REPLACED WITH PROPERLY COMPACTED AND DOCUMENTED STRUCTURAL FILL. THE PROOF-ROLLING AND UNDERCUTTING ACTIVITIES SHOULD BE OBSERVED AND DOCUMENTED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER AND SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER. IN ADDITION TO PROOF-ROLLING, THE SUBGRADE SOILS SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY ASTM D 698 FOR A DEPTH OF AT LEAST 8 INCHES BELOW THE SURFACE.
9. WHERE ENCOUNTERED, LOOSE SANDS SHOULD BE RE-COMPACTED WITH A VIBRATORY ROLLER. CLAY SUBGRADE SOILS CAN BE EASILY DISTURBED BY CONSTRUCTION ACTIVITIES AND ARE SENSITIVE TO MOISTURE. THEREFORE, EXTRA CARE SHOULD BE USED TO AVOID DISTURBING THESE SOILS DURING CONSTRUCTION ACTIVITIES. IF THE SOILS BECOME UNSUITABLE DURING CONSTRUCTION, OR IF NEAR SURFACE SOFT SUBGRADE SOILS ARE ENCOUNTERED, IT IS RECOMMENDED THAT COARSE AGGREGATE BE PLACED ON THE SUBGRADE UNTIL A STABLE BASE FOR COMPACTION OF FILL IS ACHIEVED. TYPICALLY, 12 TO 24 INCHES OF COARSE AGGREGATE ARE REQUIRED, DEPENDING IN THE CONSISTENCY OF THE SUBGRADE, THE COARSE AGGREGATE SHOULD CONSIST OF CLEAN, CRUSHED STONE GRAVEL BETWEEN 1/4 AND 3/4 INCHES IN SIZE. THE COARSE AGGREGATE SHOULD BE SPREAD IN A MAX. OF 12-INCH LAYERS AND CONSOLIDATED WITH COMPACTION EQUIPMENT UNTIL IT IS "LOCKED" IN PLACE.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULTS FROM THEIR CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
11. WHEN IN THE OPINION OF THE SOILS ENGINEER, UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED WITHIN UTILITY TRENCHES WHICH REQUIRE THE REMOVAL OF UNSUITABLE MATERIALS BELOW THE DEPTH OF THE BEDDING SPECIFIED, THE CONTRACTOR SHALL OBTAIN APPROVAL BY THE OWNER AND THE OWNER'S ENGINEER PRIOR TO REMOVING THE UNSUITABLE SOILS AND REPLACE THE MATERIAL WITH GRANULAR COMPACTED BEDDING MATERIAL AS DIRECTED BY THE SOILS ENGINEER AND THE MUNICIPALITY. THE DEPTH OF THE REMOVAL AND REPLACEMENT SHALL BE DOCUMENTED BY THE OWNER'S ENGINEER AND WITNESSED BY THE CONTRACTOR. THIS WORK, WHEN APPROVED BY THE OWNER AND OWNER'S ENGINEER, WILL BE MEASURED AND PAID FOR AT THE CONTRACT UNIT PRICE PER CUBIC YARD IN PLACE FOR UNSUITABLE SOIL, WHICH PRICE SHALL INCLUDE THE REMOVAL AND OFF-SITE DISPOSAL OF UNSUITABLE SOIL, THE ADDITIONAL BEDDING MATERIAL, AND ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PERFORM THE WORK AS SPECIFIED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING AND SCHEDULING A QUALIFIED TESTING FIRM FOR ALL SOIL TESTING. THIS SHALL BE INCLUDED IN THE COST OF WORK.
13. SUBGRADE FOR PAVEMENT AND SIDEWALKS SHALL BE FINISHED TO +/- 0.1 FOOT OF DESIGN SUBGRADE ELEVATIONS BY THE EARTHWORK CONTRACTOR. FINE GRADING SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR.
14. SUBBASE SHALL BE ADEQUATELY COMPACTED AND PROOF ROLLED WITH A LOADED SEMITRAILER PRIOR TO PLACING AGGREGATE BASE. ANY SOFT AREAS SHALL BE REMOVED AND REPLACED WITH AGGREGATE BASE.
15. GRAVEL SUBGRADE PREPARATION SHALL BE IN ACCORDANCE WITH ARTICLE 212 OF IDOT STANDARD SPECIFICATIONS.
16. AGGREGATE BASE COURSE UNDER SIDEWALKS, DRIVEWAYS, CURBS, AND PAVEMENT SHALL BE TYPE B IN ACCORDANCE WITH IDOT ARTICLE 351.
17. ALL LANDSCAPING AND LAWN AREAS SHALL HAVE A MINIMUM OF 6" TOPSOIL PER IDOT ARTICLE 211.
18. PROPOSED ELEVATIONS ARE TOP OF SOD (LAWN AREAS), TOP OF ASPHALT OR TOP OF CONCRETE.
19. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOD.

THERE IS AN EXISTING BLANKET EASEMENT OVER THE SUBJECT PROPERTY AND THE NEIGHBORING DAY CARE CENTER PROPERTY FOR THE PUBLIC UTILITIES, SIDEWALKS AND DRAINAGE, AND ACCESS EASEMENT, LANDSCAPE AND STORMWATER MANAGEMENT EASEMENT AND A BICYCLE AND PEDESTRIAN EASEMENT OVER LOT 2 IN THE CORPORATE RESERVE OF ST. CHARLES RECORDED AS DOCUMENT 2009K005931

MODIFY EXISTING OVERLAND FLOW PATH MINOR GRADING AND DRAINAGE REQUIRED ON NEIGHBORING PROPERTY TO ENSURE OVERLAND FLOW PATH IS TOWARD TO EXISTING DETENTION BASIN. EXISTING FLOW PATH TO BE FILLED AND LANDSCAPED. SEE DETAIL ON SHEET C-3.1



DATE		REVISIONS	
1	11/11/2024	1	PRELIMINARY GRADING PLAN FOR THE PROJECT
2	11/11/2024	2	REVISIONS TO THE GRADING PLAN
3	11/11/2024	3	REVISIONS TO THE GRADING PLAN
4	11/11/2024	4	REVISIONS TO THE GRADING PLAN
5	11/11/2024	5	REVISIONS TO THE GRADING PLAN
6	11/11/2024	6	REVISIONS TO THE GRADING PLAN
7	11/11/2024	7	REVISIONS TO THE GRADING PLAN
8	11/11/2024	8	REVISIONS TO THE GRADING PLAN
9	11/11/2024	9	REVISIONS TO THE GRADING PLAN
10	11/11/2024	10	REVISIONS TO THE GRADING PLAN

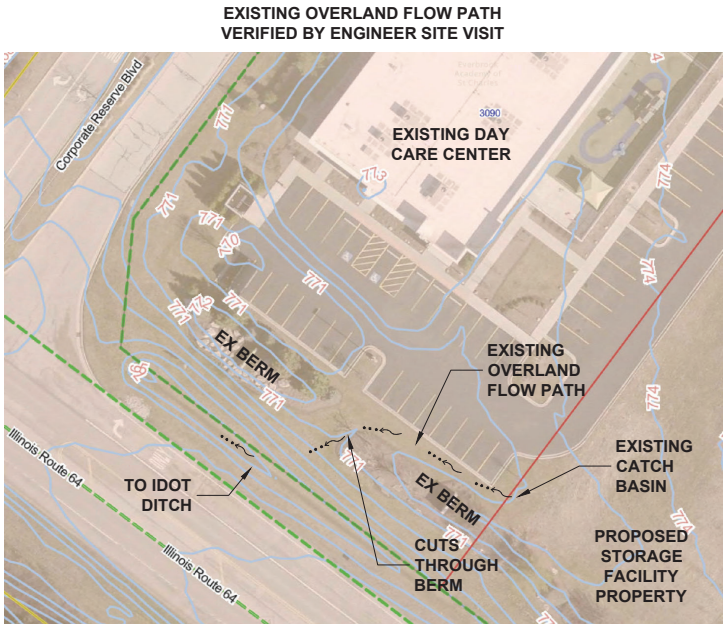
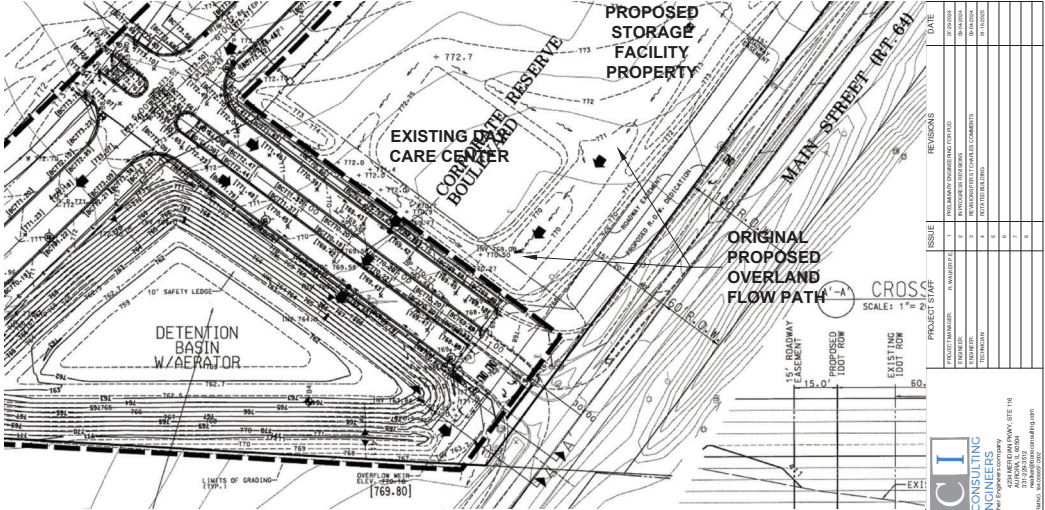
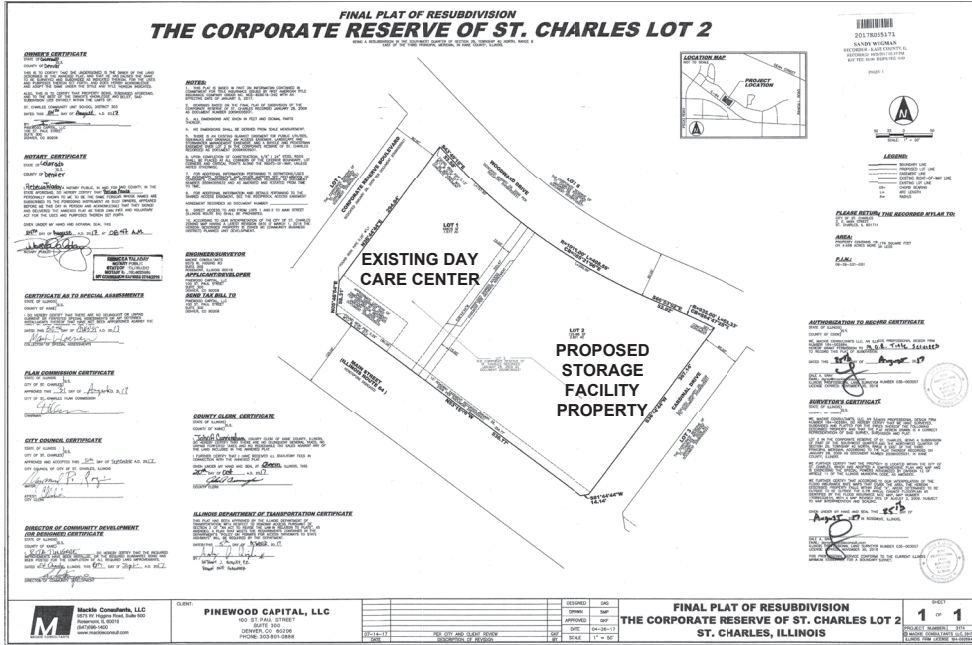
PROJECT STAFF	ISSUE
PROJECT MANAGER	1
DESIGNER	2
CHECKER	3
APPROVER	4

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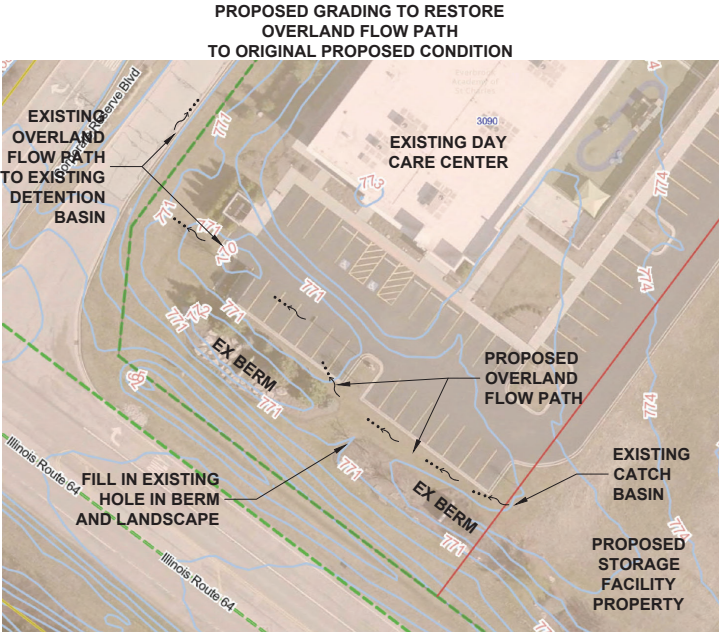
CONTRACT NO.	240749
BASE FILE	
SHEET FILE	
ISSUE DATE	NOV 13, 2024
SCALE	1"=20' 0"
SHEET NUMBER	C-3



THERE IS AN EXISTING BLANKET EASEMENT OVER THE SUBJECT PROPERTY AND THE NEIGHBORING DAY CARE CENTER PROPERTY FOR THE PUBLIC UTILITIES, SIDEWALKS AND DRAINAGE, AN ACCESS EASEMENT, LANDSCAPE AND STORMWATER MANAGEMENT EASEMENT AND A BICYCLE AND PEDESTRIAN EASEMENT OVER LOT 2 IN THE CORPORATE RESERVE OF ST. CHARLES RECORDED AS DOCUMENT 2009K009931



FINAL PERMIT DRAWINGS WILL SHOW TOPOGRAPHIC SURVEY AND GRADING PLAN FOR THIS OFFSITE WORK



DATE	ISSUE	PROJECT MANAGER	PROJECT ENGINEER	PROJECT SURVEYOR	PROJECT DRAFTER	PROJECT CHECKER	PROJECT REVIEWER	PROJECT APPROVER
	1	1	1	1	1	1	1	1
	2	1	1	1	1	1	1	1
	3	1	1	1	1	1	1	1
	4	1	1	1	1	1	1	1
	5	1	1	1	1	1	1	1
	6	1	1	1	1	1	1	1
	7	1	1	1	1	1	1	1
	8	1	1	1	1	1	1	1
	9	1	1	1	1	1	1	1
	10	1	1	1	1	1	1	1

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OFFSITE GRADING PLAN
SPACE SELF STORAGE - ST CHARLES
IL ROUTE 64 & CARDINAL DR., ST CHARLES, IL.

C-3.1



TREE PRESERVATION PLAN
SCALE: 1"=30'-0"

GENERAL NOTES:
1. SITE PLAN IS REFERENCED FROM CURRENT CIVIL ENGINEERING DRAWINGS.
2. TREE SPECIES AND CONDITION WAS ESTABLISHED THROUGH A SITE VISIT BY THE LANDSCAPE ARCHITECT.

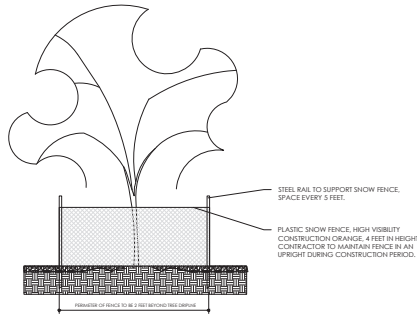
GRAPHIC KEY

- EXISTING SHRUB
- EXISTING TREE
- CODE IDENTIFYING TREE FOR MATRIX
- EXISTING TREE TO BE REMOVED

Code	Species	Common Name	Size DBH*	Cond.**	Disposition
1	Tilia	Linden	8	1	To Remain
2	Tilia	Linden	8	1	To Remain
3	Geditsia	Honeylocust	6	1	To Remain
4	Geditsia	Honeylocust	6	1	To Remain
5	Geditsia	Honeylocust	8	1	To Remain
6	Quercus	Oak	5	1	To Remain
7	Quercus	Oak	10	1	To Remain
8	Quercus	Oak	10	1	To Remain
9	Cataegus	Hawthorn	10FT***	1	Remove
10	Cataegus	Hawthorn	10FT***	1	Remove
11	Pinus	Pine	9	1	Remove
12	Pinus	Pine	10	2	Remove
13	Pinus	Pine	8	1	Remove
14	Ulmus	Elm	6	1	Remove
15	Gymnocladus	Kentucky Coffeetree	4	1	Remove
16	Gymnocladus	Kentucky Coffeetree	4	1	Remove
17	Cataegus	Hawthorn	10FT***	1	Remove
18	Cataegus	Hawthorn	10FT***	1	Remove
19	Cataegus	Hawthorn	10FT***	1	Remove
20	Gymnocladus	Kentucky Coffeetree	12	1	To Remain
21	Gymnocladus	Kentucky Coffeetree	6	1	To Remain
22	Gymnocladus	Kentucky Coffeetree	8	1	To Remain
23	Pinus	Pine	9	1	To Remain
24	Pinus	Pine	10	1	To Remain
25	Cataegus	Hawthorn	10FT***	1	To Remain
26	Cataegus	Hawthorn	10FT***	1	To Remain
27	Cataegus	Hawthorn	10FT***	1	To Remain
28	Pinus	Pine	10	5	Remove
29	Pinus	Pine	12	1	To Remain
30	Pinus	Pine	10	1	To Remain
31	Cataegus	Hawthorn	9	1	To Remain
32	Cataegus	Hawthorn	10FT***	1	To Remain
33	Gymnocladus	Kentucky Coffeetree	10FT***	1	To Remain
34	Pinus	Pine	12	1	To Remain
35	Cataegus	Hawthorn	10FT***	1	To Remain
36	Ulmus	Elm	2	1	To Remain

*Sizes and location are based upon the topographic survey.
**Cond. (Condition) is a qualitative value associated with the health of the tree: 1-great, 2-good, 3-adequate, 4-declining, 5-dying.
***Height is shown for multi-stemmed trees.

TREE PRESERVATION MATRIX



TREE PROTECTION
DETAIL

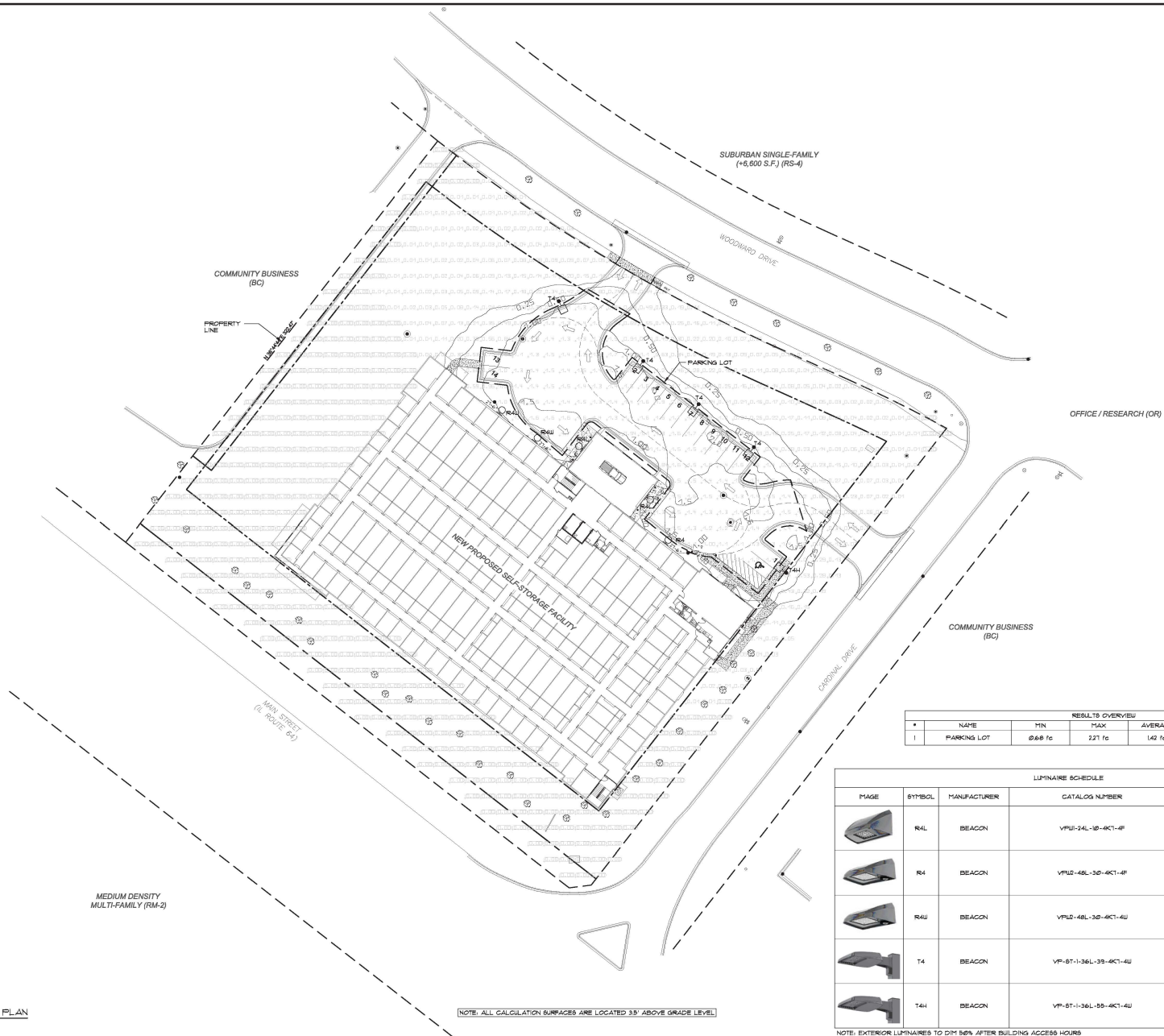
SCALE: 1/4"=1'-0"



DATE	REVISIONS	PROJECT STAFF	ISSUE
01/08/2025	1. PLANNING AND DESIGN PHASE 1.0	GARY W. LEBRUN	1.0
01/08/2025	2. PLANNING AND DESIGN PHASE 2.0	GARY W. LEBRUN	2.0
01/08/2025	3. PLANNING AND DESIGN PHASE 3.0	GARY W. LEBRUN	3.0
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01/08/2025	72. PLANNING AND DESIGN PHASE 72.0	GARY W. LEBRUN	72.0
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01/08/2025	82. PLANNING AND DESIGN PHASE 82.0	GARY W. LEBRUN	82.0
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01/08/2025	99. PLANNING AND DESIGN PHASE 99.0	GARY W. LEBRUN	99.0
01/08/2025	100. PLANNING AND DESIGN PHASE 100.0	GARY W. LEBRUN	100.0

LANDSCAPE PLANS
THE CORPORATE RESERVE
OF ST. CHARLES, LOT 2
ST. CHARLES, ILLINOIS

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PROJECT NO.: 24027
ISSUE DATE: JAN. 8, 2025
SCALE: SEE DRAWING
SHEET NUMBER



RESULTS OVERVIEW					
#	NAME	MIN	MAX	AVERAGE	MEAN/MIN
1	PARKING LOT	0.68 fc	2.21 fc	1.42 fc	2.05
					3.34

LUMINAIRE SCHEDULE					
IMAGE	SYMBOL	MANUFACTURER	CATALOG NUMBER	LAMP	WATTS
	R4L	BEACON	VPW-24L-10-4KT-4P	LED	7
	R4	BEACON	VPW-48L-30-4KT-4P	LED	29
	R4W	BEACON	VPW-48L-30-4KT-4W	LED	29
	T4	BEACON	VP-5T-1-36L-35-6KT-4W	LED	40
	T4H	BEACON	VP-5T-1-36L-55-4KT-4W	LED	51

NOTE: EXTERIOR LUMINAIRES TO DIM 50% AFTER BUILDING ACCESS HOURS

SITE PHOTOMETRIC PLAN

 SCALE: 1" = 30'-0"

REVISION	NO.	DATE	DESCRIPTION

SITE PHOTOMETRIC PLAN FOR
 SPACE SELF-STORAGE
 AT
 IL ROUTE 64 & CARDINAL DRIVE
 ST. CHARLES, ILLINOIS



Smith Stogall
 & associates p.c.

Consulting Engineers

2100 Eighth Street

Tucson, Arizona 85740

Phone/Fax 260 340 4400

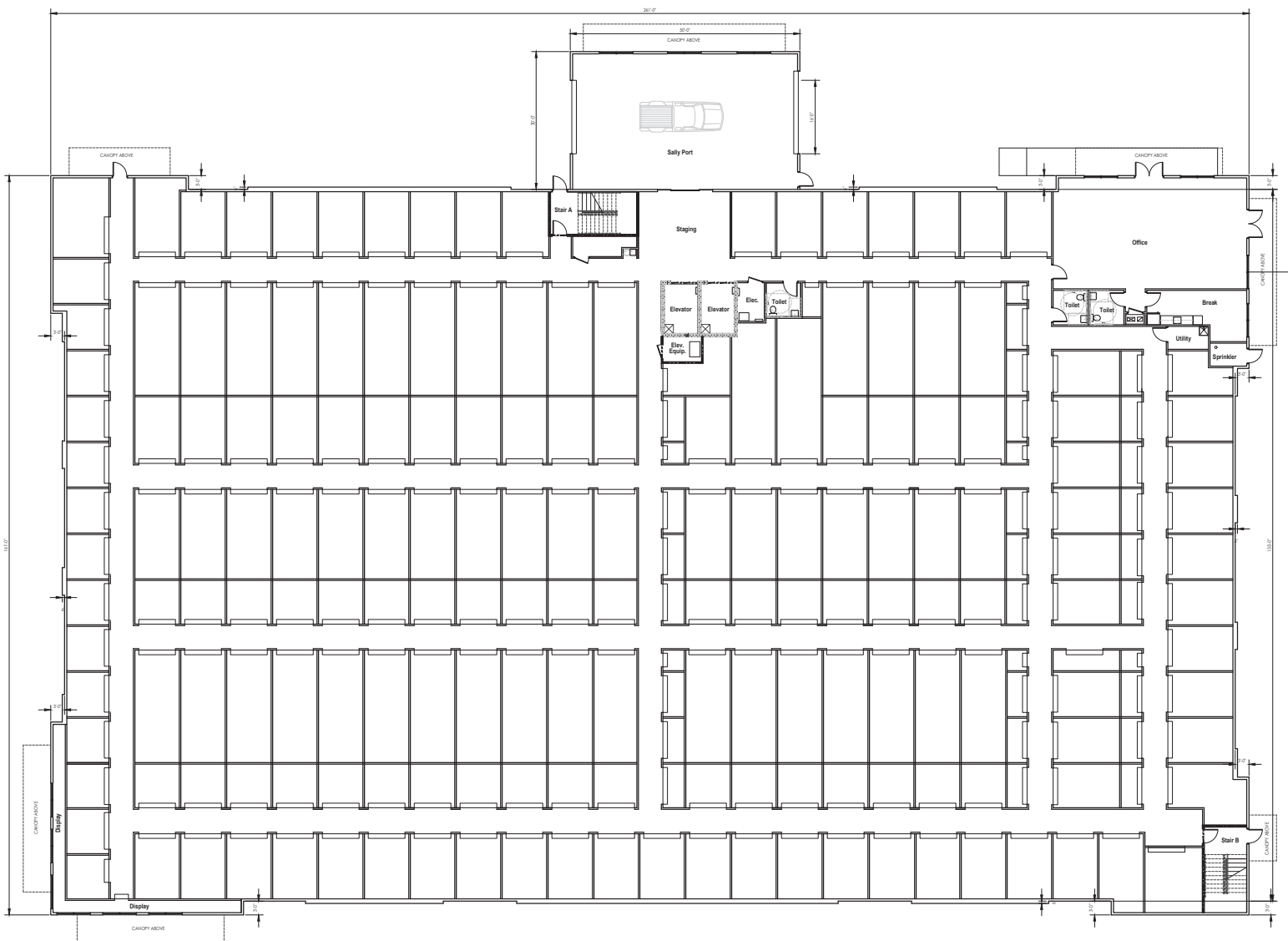
E-mail info@smithstogall.com

DRAWINGS ARE THE
 PROPERTY OF ENGINEER,
 AND MAY NOT BE
 REPRODUCED IN WHOLE
 OR IN PART WITHOUT
 EXPRESSED PERMISSION.

JOB NO. 2461
 DATE: 01/26/25
 DRAWN BY: MBL
 CHECKED BY: MBL

SITE PHOTOMETRIC
 PLAN

E100



1 First Floor Plan
SCALE 3/32" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION
REVISED BY:



Climate Controlled Storage for:

Space Self Storage

IL Route 64 & Cardinal Drive
St. Charles, Illinois

REVISIONS:		

First Floor Plan		
JOB No:	2409	
DATE:	07/11/24	
SHEET:	A100	

VERIFY SCALES
BY USING TOOL
IF NOT ONE INCH
ON THIS SHEET
ADJUST SCALE
ACCORDINGLY

Matthew 7:24 - Therefore everyone who hears these words of mine and puts them into practice is like a wise man who built his house on the rock.

PRELIMINARY
NOT FOR CONSTRUCTION

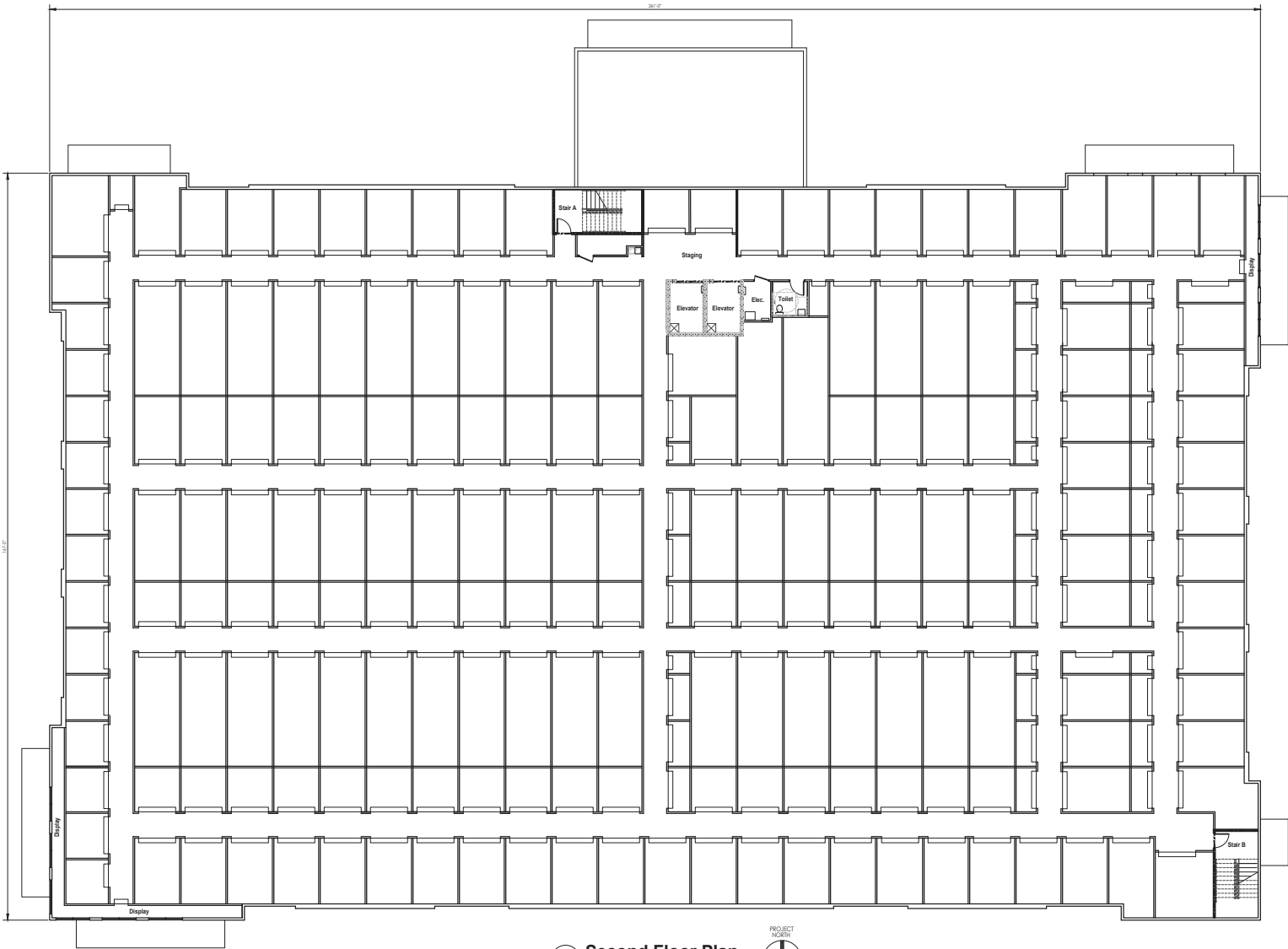


Climate Controlled Storage for:
Space Self Storage
IL Route 64 & Cardinal Drive
St. Charles, Illinois

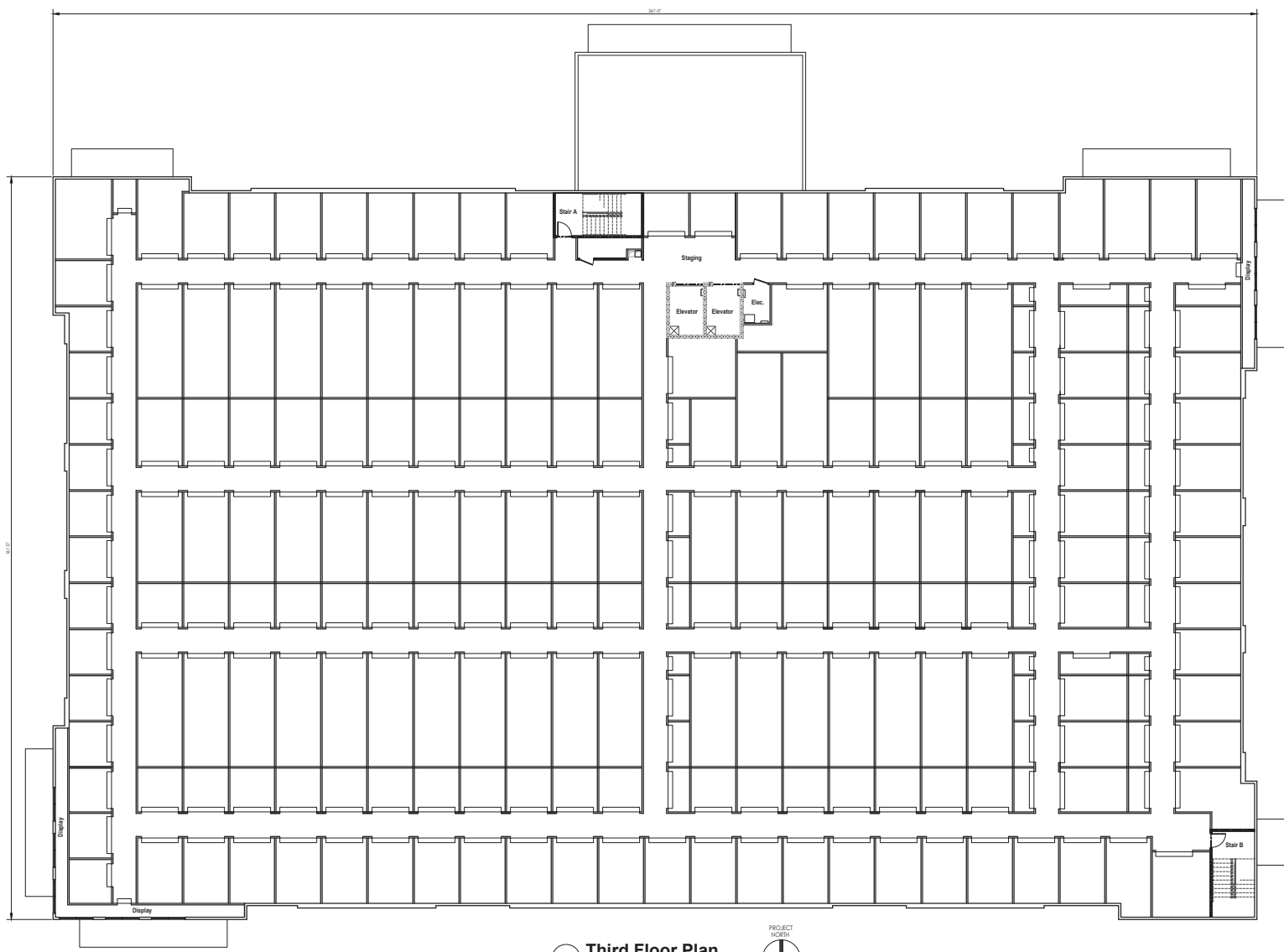
REVISIONS:		

Second Floor Plan
JOB No: 2409
DATE: 07/11/24
SHEET:
A101

VERIFY SCALES
BY JLB, JMC, JCH
ON 07/11/24
IF NOT ONE, INCH
ON THIS SHEET
ADJUST SCALE
ACCORDINGLY



1 Second Floor Plan
SCALE: 3/32" = 1'-0"
PROJECT NUMBER



1 Third Floor Plan
SCALE: 3/32" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION
REVISED BY:



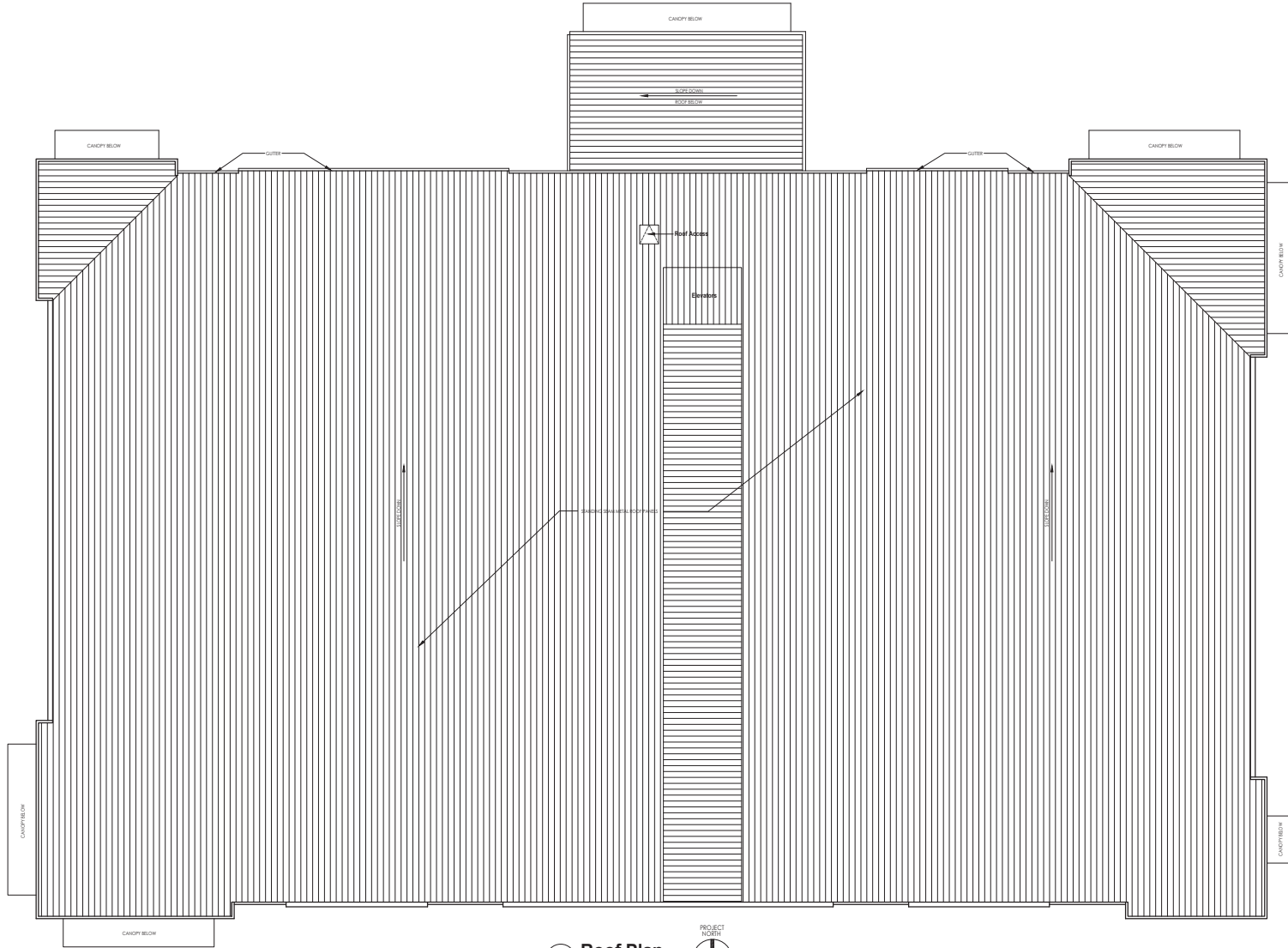
Climate Controlled Storage for:
Space Self Storage
11. Route 64 & Cardinal Drive
St. Charles, Illinois

REVISIONS:

Third Floor Plan
JOB No: 2409
DATE: 07/11/24
SHEET:
A102

VERIFY SCALES
BY AS ONE
IN DIMENSION
IF NOT ONE DIM
ON THIS SHEET
ADJUST SCALE
ACCORDINGLY

Matthew 7:24 - Therefore everyone who hears these words of mine and puts them into practice is like a wise man who built his house on the rock.



1 Roof Plan
SCALE: 3/32" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION
REVISED BY:



Climate Controlled Storage for:

Space Self Storage

IL Route 64 & Cardinal Drive
St. Charles, Illinois

REVISIONS:		

VERIFY SCALES
BY JLB, INC. 2024
IF NOT ONE, INCH
ON THIS SHEET,
ADJUST SCALE
ACCORDINGLY

Roof Plan		
JOB No:	2409	
DATE:	07/11/24	
SHEET:	A103	

PRELIMINARY
NOT FOR CONSTRUCTION

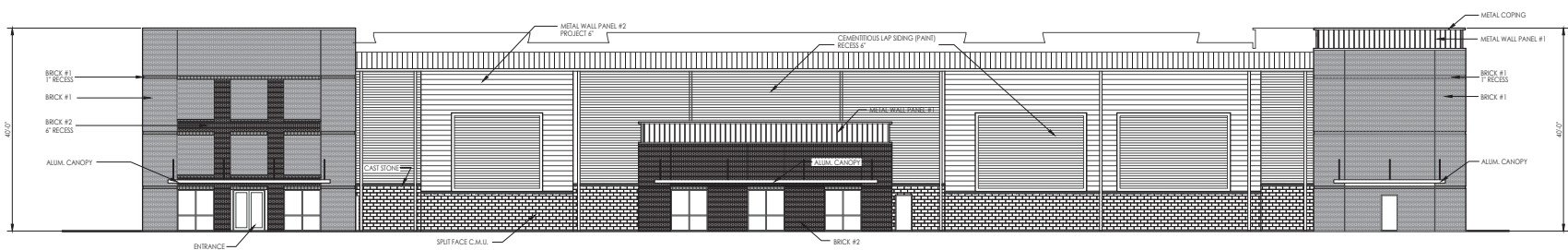
KILLIAN
CONSTRUCTION

Climate Controlled Storage for:
Space Self Storage
IL Route 64 & Cardinal Drive
St. Charles, Illinois

REVISIONS:	

Elevations	
JOB No:	2409
DATE:	07/11/24
SHEET:	A200

VERIFY SCALES
BY JLB: JLB
IF NOT ONE, INCH
ON THIS SHEET
ADJUST SCALE
ACCORDINGLY

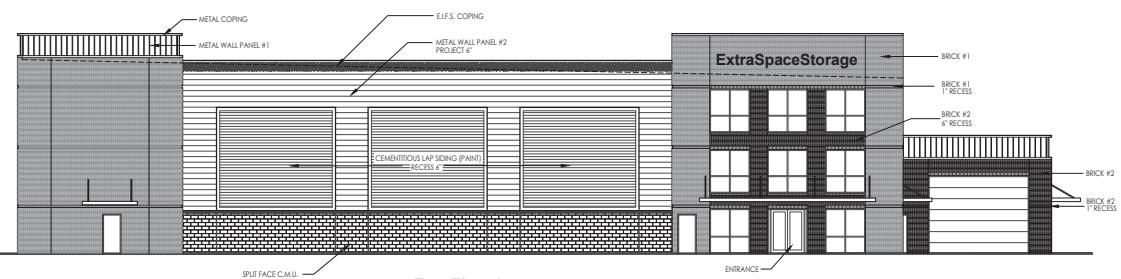


1 North Elevation
SCALE: 3/32" = 1'-0"

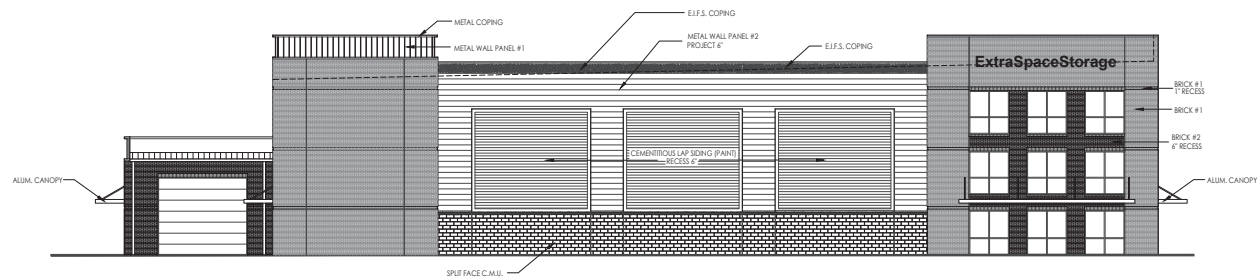
ExtraSpaceStorage

Allowable sf = 1.5 sf of linear ft on wall which located
Allowable sf = 1.5 x 42 linear ft = 63 sf
Actual sf = 2 linear ft x 25 linear ft = 50 sf
Projection = 7 in

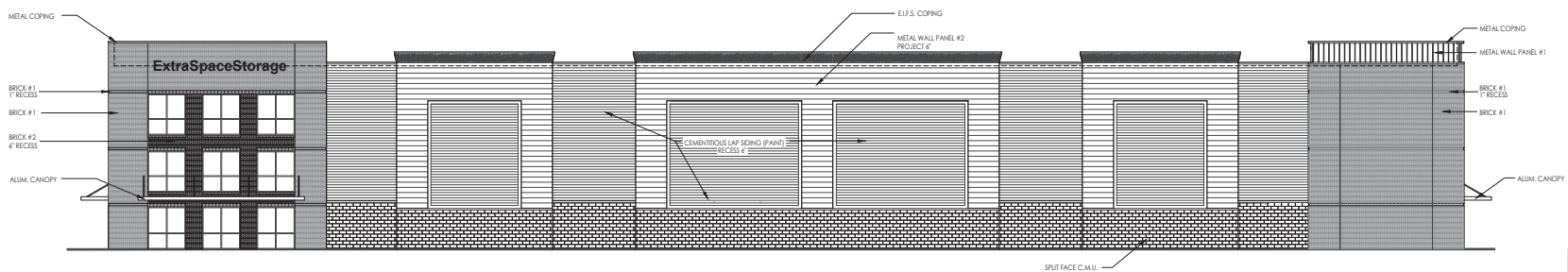
Signage Detail



2 East Elevation
SCALE: 3/32" = 1'-0"



3 West Elevation
SCALE: 3/32" = 1'-0"



4 South Elevation
SCALE: 3/32" = 1'-0"

Matthew 7:24 - Therefore everyone who hears these words of mine and puts them into practice is like a wise man who built his house on the rock.



1 North Elevation
SCALE: 3/32" = 1'-0"



2 East Elevation
SCALE: 3/32" = 1'-0"



3 West Elevation
SCALE: 3/32" = 1'-0"



4 South Elevation
SCALE: 3/32" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
REVISED BY:

KILLIAN
CONSTRUCTION

Climate Controlled Storage for:

Space Self Storage

IL Route 64 & Cardinal Drive
St. Charles, Illinois

REVISIONS:

Elevations

JOB No: 2409

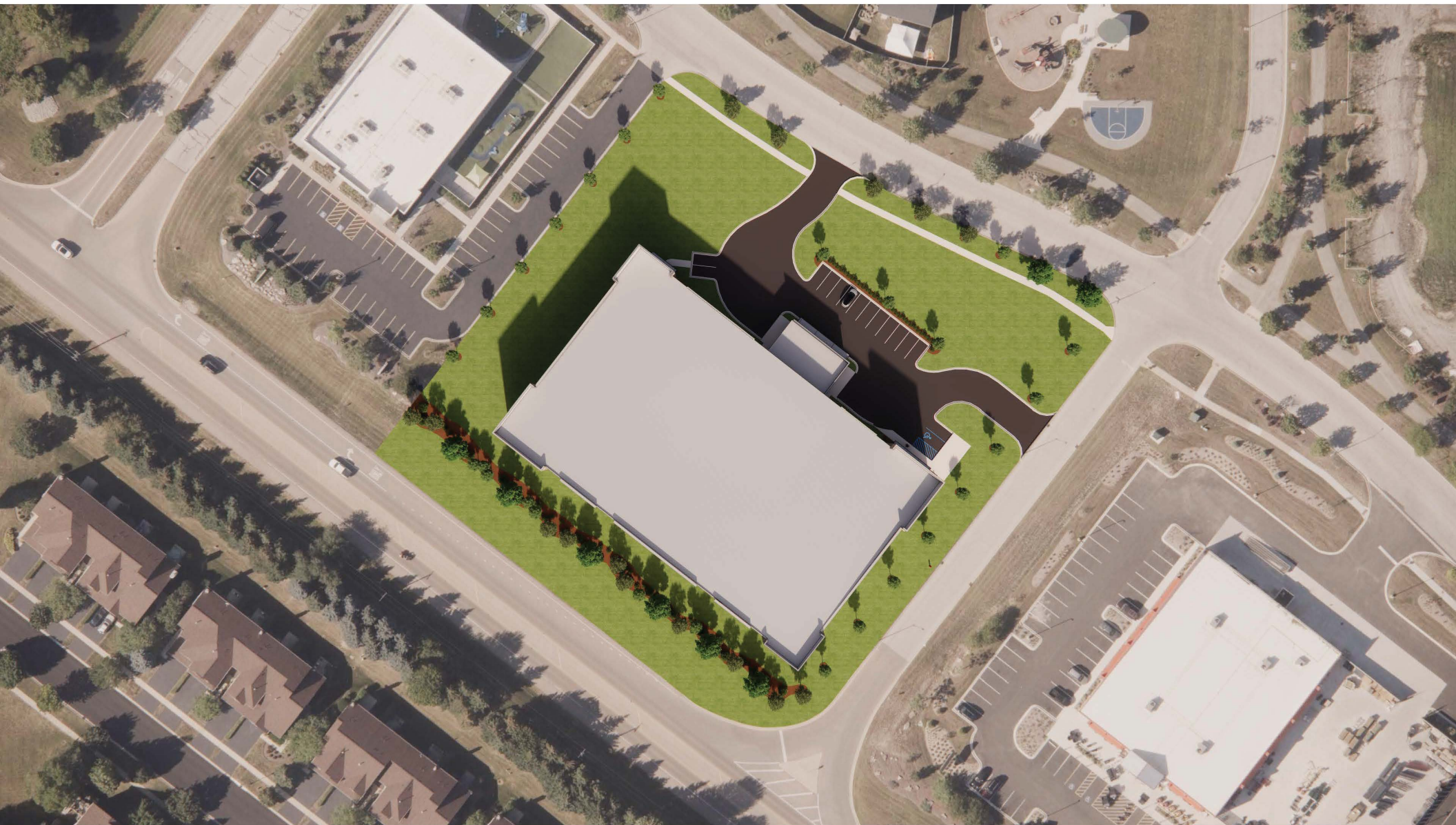
DATE: 07/11/24

SHEET:

A200

VERIFY SCALES
BEFORE BEGINNING
CONSTRUCTION
IF NOT ONE INCH
ON THIS SHEET
ADJUST SCALE
ACCORDINGLY

Matthew 7:24 - Therefore everyone who hears these words of mine and puts them into practice is like a wise man who built his house on the rock.











PREVIOUS SITE PLAN - REVIEWED BY PLAN COMMISSION 12/3/24

SITE DATA:

PIN: 09-29-331-003

TOTAL SITE AREA: 2.881 ACRES (125,497 sq ft)

PROPOSED OFF STREET PARKING: 15 SPACES
(14 - 9' x 18' & 1 - 16' x 18' ADA)

PROPOSED LOADING AREA: WITHIN BUILDING
(DRIVE THRU)

IMPERVIOUS AREA: 60,114 sq ft (1.38 ac) 47.9%

BUILDING 41,986 sq ft
PAVEMENT 17,103 sq ft
SIDEWALK 1,025 sq ft

PAVEMENT LEGEND	
	PARKING LOT PAVEMENT: 1 1/2" BITUMINOUS SURFACE COURSE, SUPERPAVE, MIX D, N50 3 1/2" BITUMINOUS BINDER COURSE, SUPERPAVE, IL-15, N50 12" AGGREGATE BASE COURSE CA-6, TYPE B
	DOT STANDARD B-6-12 CURB & GUTTER
	DOT STANDARD B-6-12 DEPRESSION CURB & GUTTER
	DOT STANDARD B-6-12 REVERSE PITCH CURB & GUTTER
	CONCRETE APRON & STOOP AT DRIVE-THRU: 6" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE CA-6
	SIDEWALKS & STOOPS AT MANHOLES: 6" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE CA-6

PAVEMENT STRIPING & SIGNAGE NOTES:

- INTERIOR PARKING SPACES ARE AS NOTED.
- MARKING PAINT SHALL BE HIGH QUALITY TRAFFIC PAINT INTENDED FOR STRIPING ASPHALT PARKING LOTS.
COLOR: YELLOW
WIDTH: 4"
COVERAGE RATE: 450 FEET PER GALLON PER IDOT ARTICLE 780.

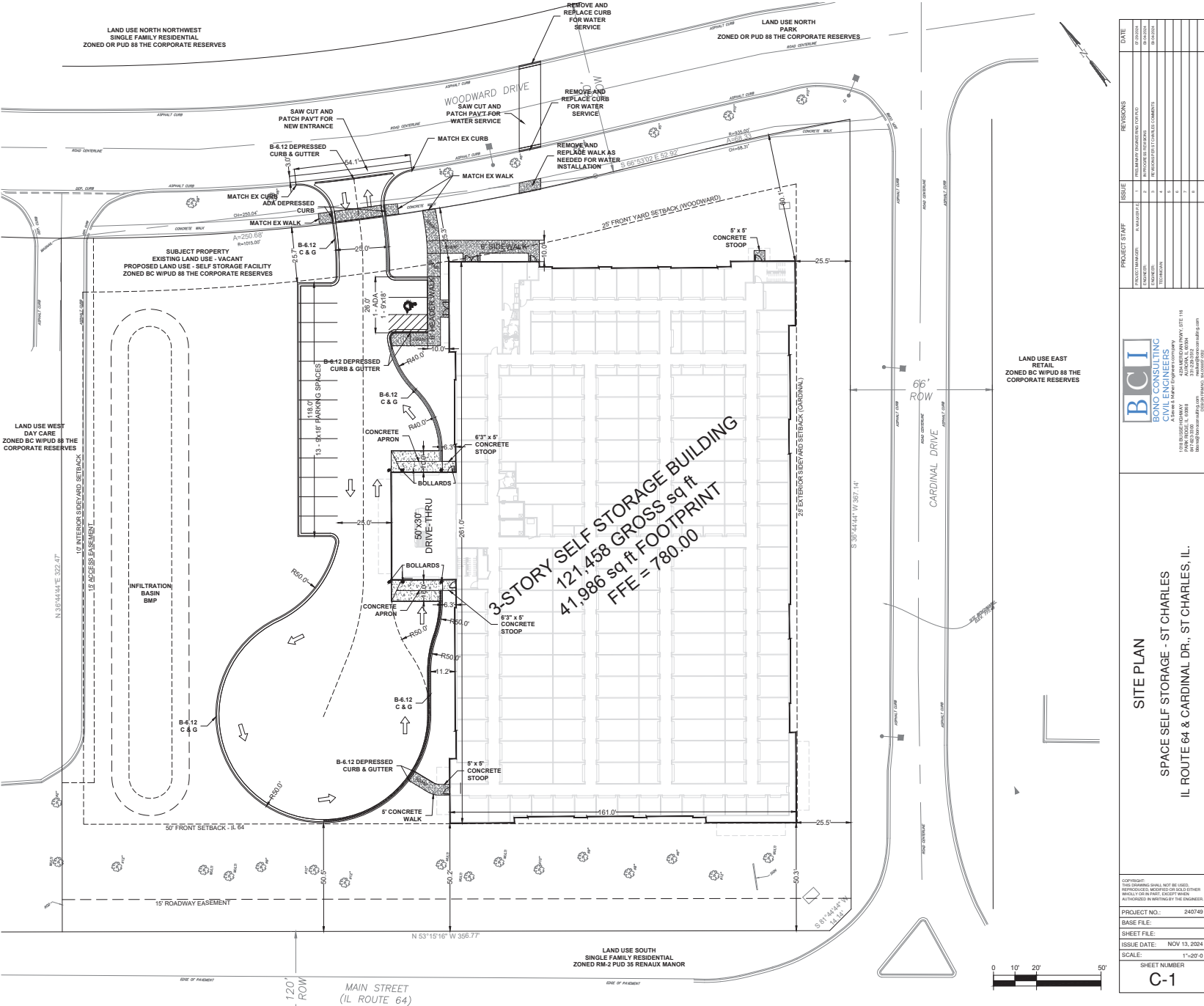
CONCRETE AND ASPHALT NOTES:

- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS SECTION 420. CONCRETE SURFACES MUST BE WARRANTED FOR ONE YEAR AGAINST ANY CRACKING, PONDING OR CRACKS OVER 1/4" WIDE.
- ALL CONCRETE SHALL BE MINIMUM 3,500 PSI.
- CLEAN, FULL DEPTH SAWCUTS THROUGH EXISTING SIDEWALK AND CURB SCHEDULED FOR REMOVAL.
- COMBINATION CURB & GUTTER IS 9" HIGH UNLESS OTHERWISE NOTED.
- A 3/8" FIBER EXPANSION JOINT SHALL BE INSTALLED WHEN THE NEW SIDEWALK OR CURB ABUTS ANY BUILDING.
- CONTRACTION JOINTS SHOULD BE SAWCUT A MINIMUM OF TWO INCHES DEEP WITHIN 4-12 HOURS OF CONCRETE PLACEMENT, BUT NO LATER THAN 24 HOURS AFTER CONCRETE PLACEMENT. BE IN ACCORDANCE WITH SECTION 420.05 IDOT STANDARD SPECIFICATIONS.
- MAXIMUM 50' C-C BETWEEN CONTRACTION JOINTS IN CURBS OR SIDEWALK.
- ASPHALT SHALL BE PLACED IN ACCORDANCE WITH IDOT STANDARD SPECIFICATION SECTION 406. ASPHALT SURFACES MUST BE WARRANTED FOR ONE YEAR AGAINST BIRDBATHING/PONDING OF 1/2" STANDING WATER FOR AREAS GREATER THAN 25 SQUARE FEET.
- ALL PARKING LOTS TO BE PROOF ROLLED PRIOR TO PLACEMENT OF AGGREGATE SUBBASE AND AGAIN PRIOR TO INITIAL ASPHALT LIFT. PROOF ROLL TO BE DONE WITH LOADED DOUBLE AXLE DUMP TRUCK AND WITNESSED BY AN OWNERS REPRESENTATIVE.

LEGAL DESCRIPTION:
LOT 2 IN THE FINAL PLAT OF RESUBDIVISION OF THE CORPORATE RESERVE OF ST. CHARLES LOT 2, BEING A RESUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 20, 2017 AS DOCUMENT NUMBER 2017K055171, IN KANE COUNTY, ILLINOIS.

PERPETUAL NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AS SET FORTH IN THE ACCESS EASEMENT AND MAINTENANCE AGREEMENT RECORDED OCTOBER 20, 2017 AS DOCUMENTED NUMBER 2017K055174, IN KANE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: IL 64 & CARDINAL DRIVE, ILLINOIS.



DATE	REVISIONS	PROJECT STAFF	ISSUE
11/15/2024	1. PRELIMINARY DRAFTING FOR PERMIT	PROJECT MANAGER	1. PRELIMINARY DRAFTING FOR PERMIT
11/15/2024	2. REVISIONS TO PERMIT	DESIGNER	2. REVISIONS TO PERMIT
11/15/2024	3. REVISIONS TO PERMIT	DESIGNER	3. REVISIONS TO PERMIT
11/15/2024	4. REVISIONS TO PERMIT	DESIGNER	4. REVISIONS TO PERMIT
11/15/2024	5. REVISIONS TO PERMIT	DESIGNER	5. REVISIONS TO PERMIT
11/15/2024	6. REVISIONS TO PERMIT	DESIGNER	6. REVISIONS TO PERMIT
11/15/2024	7. REVISIONS TO PERMIT	DESIGNER	7. REVISIONS TO PERMIT
11/15/2024	8. REVISIONS TO PERMIT	DESIGNER	8. REVISIONS TO PERMIT

BCI

BOND CONSULTING

1100 N. WISCONSIN AVE., SUITE 110
CHICAGO, IL 60610
TEL: 312.333.3333
WWW.BONDCONSULTING.COM

1100 N. WISCONSIN AVE., SUITE 110
CHICAGO, IL 60610
TEL: 312.333.3333
WWW.BONDCONSULTING.COM

SITE PLAN

SPACE SELF STORAGE - ST CHARLES

IL ROUTE 64 & CARDINAL DR., ST CHARLES, IL.

CONTRACTOR: THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN AUTHORIZATION OF THE ENGINEER.

PROJECT NO.: 240749

BASE FILE:

SHEET FILE:

ISSUE DATE: NOV 13, 2024

SCALE: 1"=20' 0"

SHEET NUMBER

C-1

From: Michael Servial <mkservial@gmail.com>

Sent: Monday, December 2, 2024 6:54 PM

To: CD <cd@stcharlesil.gov>

Subject: Storage facility proposal

I just learned of the proposed storage facility on 64 next to the Anthem Heights neighborhood. I am writing to express my and my neighbors' concerns over the possibility of such a building being built on this property, and to urge you to deny approval. This is a residential area not suitable for industrial buildings such as this one. There are many industrial areas which would be more suitable. I thank you for your consideration of the residents of the area, all of whom are staunchly against this building.

- Michael, a resident of Anthem Heights

From: Brendan Connolly <connolly.b@gmail.com>
Sent: Tuesday, December 3, 2024 7:29 AM
To: CD <cd@stcharlesil.gov>
Cc: Erin Connolly <erin.connolly104@gmail.com>
Subject: Reject Application for Special Use- Space Self Storage

Good morning,

I am writing about the Application for Special Use and the proposed Self Storage facility. My family and I live in Anthem Heights neighborhood and are right next to the park. This proposed 3 story facility would be directly behind my house and with the driveway directly behind my backyard.

A three story unit in a residential neighborhood would be taller than my house and look directly into my home easily from anyone who has access to this facility. A three story unit would be the tallest building and set a precedent for additional buildings to do the same thing along Woodward. There are no current three story buildings west of Randall on Main Street and it would stand out like a sore thumb. The location for this large of a unit (over 121k square feet) is not the right place. We already have a large retail business in Tractor Supply that adds to light pollution already.

The argument that storage is needed in St Charles also does not work with having a storage unit directly down Woodward off of Randall and one right by Meijer. 1 mile away and 2.4 miles away by car. There are multiple options nearby and this would not be necessary or an addition to this community.

The hours of availability as well concerns me with having a park across the street. I have 3 young children (5,3, and 8 months) and their protection is paramount. My children along with 62 other children in our neighborhood use that park on a daily basis until 9pm in the summer. The last time there is someone onsite at this proposed facility is 5pm. That's 4 hours of unmonitored access until the sun sets in the summer. That number of 62 doesn't include neighboring neighborhoods or other residents using the park.

I urge you to reject this special proposal as it is not in the public interest, our neighborhoods, and not best for St. Charles.

Thank you,

Brendan Connolly
201 Kennedy Dr, St. Charles, IL 60175

From: Lloyd Crisp <lloydcrisp@hotmail.com>
Sent: Tuesday, December 10, 2024 10:20 PM
To: CD <cd@stcharlesil.gov>
Subject: self storage facility application

Dear Sirs,

We have just found out about the application that has been submitted for a self storage facility at the corner of IL 64 and Cardinal Dr. Unfortunately we were not able to attend the hearing held on December 3.

We are homeowners (living at 331 Kennedy Dr.) and we feel that this facility would lower our homes value, and also be an eyesore for the whole neighborhood.

We understand that this facility would produce revenue for the city, but do we really need another facility like this in this area? There is already a huge self storage facility just across Randall Rd., and another next to the Meijer store.

We realize that we are only two voices, but we strongly request that you deny this request.

Thank-you for taking the time to consider this.

Sincerely,
Lloyd and Eileen Crisp

From: Josephine Anderson <josephine.mower@gmail.com>
Sent: Monday, December 2, 2024 4:37 PM
To: CD <cd@stcharlesil.gov>
Subject: Urgent Concern Regarding Proposed Storage Unit Development

Saint Charles Planning Commission,

I am writing to express my strong opposition to the proposed construction of a storage facility in our neighborhood, specifically at Corporate Reserve PUD lot 2. While I understand this project raises serious concerns about its negative impact on our community, particularly given its proximity to a park and a preschool.

Key Concerns:

1. **Impact on Community Character.** Storage units are often associated with industrial areas, not residential neighborhoods. This facility would significantly alter the character and esthetic appeal of our community which is currently a welcoming, family-oriented area. Studies have shown that such developments can decrease property values for nearby homes by as much as 7-9%. affecting the long-term investment of residents.
2. **Traffic and Safety Risks.** Increased traffic from large vehicles accessing the facility poses a significant safety risk, especially given its location near Everbrook Academy and Woodward Drive Playground. According to the National Safety Council, pedestrian accidents are more likely to occur in areas with mixed-use traffic. The presence of children in these areas makes this risk even more alarming.

I strongly urge you to reconsider this project and explore alternative solutions that preserve the safety, beauty, and integrity of our neighborhood. Development should enhance communities, not detract from them.

I look forward to your decision. Thank you for your attention,

Josephine Anderson
3054 Harrison Dr.
Saint Charles, IL

From: Alexie Barba <downeyam9@gmail.com>

Sent: Tuesday, December 3, 2024 3:21 PM

To: CD <cd@stcharlesil.gov>

Subject: Space Self Storage Project

Dear Plan Commission,

I write to you as a concerned resident of St Charles about the Space Self Storage project that is supposed to be built on the lot near Woodward and Cardinal Drive. I own a home in Regency Estates, a neighborhood just east of where the project is set to be built.

There are many neighborhoods right next to the lot, including mine (Regency Estates), Anthem Heights, Reneaux Manor, as well as townhomes on Remington Drive. A three story building next to all of these neighborhoods is not appropriate, nor is it in the interest of home owners near the lot. I understand something will be placed there, but a large building that is requesting an amendment to the Corporate Reserve PUD to modify the maximum gross building floor area per building should not be placed on this site. Perhaps a building that is one story would be well suited for an area that is near neighborhoods.

Please consider this when making decisions and voting for the proposal. A modification to the plan for a one story unit would be best for the area and the homeowners.

Thanks,

Alexie Barba

From: Cheryl Savastano <cheryl@rofonic.com>
Sent: Monday, December 2, 2024 6:44 PM
To: CD <cd@stcharlesil.gov>
Subject: Proposal of Space Self Storage Displeasure

Hello City of St Charles Board,

I'm writing tonight to express my displeasure for the proposal of another Self Storage and this time in a heavily residential area. This proposal on the Corporate Reserve plot of land next to Everbrook School and would be in front of Anthem Heights Homes and Park.

There are 3 other storage unit places between 0.8 miles to 2.5 miles from this location. Those are properly placed in remote/industrial areas NOT in a heavily housed area.

Public Storage 0.8 miles away

Metro Self Storage 1.2 miles away

Public Storage 2.7 miles away

I'm a homeowner of Anthem Heights community and putting a self storage in a heavy residential area is going to decline the charm of our area and i won't be surprised if it decreases the value of our moderately priced homes that are located right behind this plot of land.

I hope that you listen to the residents of this area and decline the permit for this plot of land to build and avoid such an eye sore that is out of place. This area doesn't need ANOTHER storage place just to collect taxes.

Sincerely,

Cheryl Savastano

From: Raphael Savastano <raphael@rofonic.com>

Sent: Tuesday, December 3, 2024 1:06 PM

To: Vitek, Lora <lvitek@stcharlesil.gov>; Lencioni, Paul <plencioni@stcharlesil.gov>; Gehm, Bob <bgehm@stcharlesil.gov>; CD <cd@stcharlesil.gov>

Subject: Opposition to Proposed Three-Story Self-Storage Facility at West Main Street (Route 64)

Dear Members of the City Council & Plan Commission,

I am writing to express my strong opposition to the proposed three-story self-storage facility planned for construction on West Main Street (Route 64), between Corporate Reserve Boulevard and Cardinal Drive. This facility, with a footprint of 41,986 square feet and gross square footage of 121,458, would be an incompatible addition to the character and landscape of our community.

I reside in Anthem Heights, part of the Corporate Reserve parcel, which encompasses three established residential neighborhoods:

Remington Glen: Approximately 100 homes.

Anthem Heights: A neighborhood of 78 high-value single-family homes with a sizable and active public park, the Woodward Drive Playground.

Regency Estates: Comprising approximately 48 homes.

Corporate Reserve also hosts various low-profile commercial and educational establishments, including:

- A two-story medical building.
- Autumn Leaves Memory Care Facility (one story).
- Everbrook Academy Preschool and Kiddie Academy (both one story).
- Tractor Supply Co., a dog daycare, and an Aldi grocery store (all one story).

The proposed storage facility would be located between Everbrook Academy and Tractor Supply Co., directly across from the Woodward Drive Playground and our neighborhood. At three stories and approximately 40 feet in height, it would tower over every existing structure in the vicinity, disrupting the area's carefully maintained aesthetic harmony.

Key Concerns

1. Architectural Incompatibility:

- The proposed design is a "modern box" structure, lacking architectural features that would blend with the surrounding landscape. This design is jarringly out of place amidst the predominately one- and two-story buildings and the heavily wooded backdrop.

2. Negative Visual Impact:

- No amount of landscaping will obscure this towering structure. The thousands of residents living in the surrounding neighborhoods, even outside of Corporate Reserve, will have an unavoidable view of this building from their homes, particularly those along Woodward Drive. This would make the self-storage facility an unwelcome focal point for the area. This includes, Regency Estates, Anthem Heights, Remington Glen, Harvest Hills,

3. Effect on Property Values:

- Residents in all four surrounding neighborhoods have voiced concerns about the potential impact on property values. A three-story commercial building in such close proximity to high-value residential properties could detract from the desirability and market value of our homes.

4. Inconsistent Development Standards:

- The Corporate Reserve area has been carefully developed with a balance of commercial and residential uses that complement rather than overwhelm the natural surroundings. This proposal deviates significantly from the established pattern, threatening to undermine the thoughtful planning that has preserved the area's character thus far.

I have included a visual of the immediate impacted residential area based on a rudimentary review of the surrounding elevation. The impact is likely greater than what is represented.

Acknowledgment and Request


While I understand that the parcel is zoned for commercial use and that the city seeks opportunities to enhance revenue, I respectfully urge the Commission to consider the long-term implications of this decision on our community. A structure of this scale and design is inconsistent with the existing aesthetic and would negatively impact hundreds of residents and their quality of life.

I ask the Commission to either reconsider the approval of this project or require substantial modifications to its design and scale to ensure compatibility with the surrounding area.

Thank you for your attention to this matter and for your continued commitment to thoughtful urban planning.

Sincerely,
Raphael R. Savastano
St. Charles, IL 60175



 <p>CITY OF ST. CHARLES ILLINOIS • 1834</p>	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4b
	Title:	Recommendation to approve a Minor Change to PUD for Carriage Oaks, 1500 S. 14th Street, Carriage Oaks PUD.	
	Presenter:	Ellen Johnson, Planner II	
Meeting: Government Operations Committee Date: February 10, 2025			
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
TIF District: None			
Executive Summary (if not budgeted, please explain): <p>The subject property is located at 1500 S 14th Street and is the site of Carriage Oaks Senior Living. The development was approved as a PUD under Ord. 1997-Z-21.</p> <p>An application for Minor Change to PUD has been submitted by Richard Berti, R. Berti & Son Contractor Inc., representing property owner Carriage Oaks STC, LLC proposing the following changes to the site:</p> <ul style="list-style-type: none"> • Removal of prefabricated entry canopy. • Construction of a permanent entry canopy. • Replacement of monument sign. • Replacement of any impacted landscaping with like in-kind material. <p>Minor Change to PUD approval is required to permit the proposed exterior changes. The proposed changes comply with the Carriage Oaks PUD Ordinance and applicable provisions of the Zoning Ordinance.</p>			
Attachments (please list): Application, Plans			
Recommendation/Suggested Action (briefly explain): Recommendation to approve a Minor Change to PUD Carriage Oaks, 1500 S 14 th Street, Carriage Oaks PUD.			

City of St. Charles
Community Development Division
2 E. Main Street
St. Charles, IL 60174



Phone: (630) 377-4443
Email: cd@stcharlesil.gov

MINOR CHANGE TO PUD APPLICATION

For City Use

Project Name: _____
Project Number: _____-PR-_____
Cityview Project Number: _____

Received Date

- *File this application to request approval of a Minor Change to an approved PUD Preliminary Plan in a manner that complies with all standards of the PUD Ordinance applicable to the property and meets the definition of a Minor Change per the Zoning Ordinance or the PUD Ordinance.*
- *Complete the application and submit with all required attachments to the Community Development Division.*
- *The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.*
- *City staff will review the submittal for completeness and for compliance with applicable requirements.*
- *The Minor Change will be scheduled for review by the Planning & Development Committee of the City Council when staff has determined the plans are ready.*

1. Property Information:	Location: 1500 South 14th Street St. Charles, IL 60174	
	Parcel Number (s): 09-33-376-014	
	PUD Name: Carriage Oaks	
2. Applicant Information:	Name: R Berti & Son Contractor, Inc.	Phone: 815-725-9335 ext. 226
	Address 1609 Rock Creek Blvd Joliet, IL 60431	Email: rjberti@rberti.com
3. Record Owner Information:	Name: Carriage Oaks STC, LLC	Phone: 402-364-5076
	Address: Attn: Julie Bennett 11606 Nicholas Street, Suite 100 Omaha, NE 68154	Email: julie.bennett@transformingage.org

• **4. PUD Information:**

Name of PUD: Carriage Oaks

PUD Ordinance #: 1997-Z-21

Ordinance or Resolution that approved the current plans: 1997-Z-21

5. Proposed Changes:

PUD Plans to be changed:

- ☒ Site/Engineering Plan
- ☒ Landscape Plan
- ☒ Architectural Elevations
- ☒ Signs
- ☐ Other plans:

Description of plan changes:

Removal of existing entry canopy and construction of a new permanent, enhanced entry canopy. Installation of a new monument sign. All landscape materials that are affected by the work will be replaced and restored.

6. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

☒ **APPLICATION FEE:** \$200

☒ **REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ **REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ **PROOF OF OWNERSHIP:** a) A current title policy report; or
b) A deed and a current title search

☒ **OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.

- ☒ **LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- ☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- ☒ **PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- ☒ **COVER LETTER:** A letter describing the proposed minor change requested, why it is necessary, and how it is different from the currently approved plan.
- ☒ **PLANS:** All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: ~~One 1(1) full size plan set, one (1) 11" by 17" copy, and~~ PDF electronic file emailed to: cd@stcharlesil.gov

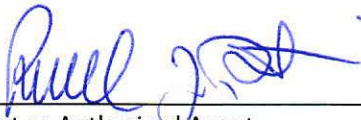
Plans shall include the following, depending on the scope of the proposed Minor Change:

- Site Plan indicating location of proposed change.
- For changes to site/engineering plans, show existing/approved and proposed site/engineering plan changes.
- For changes to architectural elevations, show existing/approved and proposed building design, color and materials.
- For changes to landscaping, show existing/approved and proposed plans, indicate species and quantities of plant material to replace existing/approved materials.
- For changes to signs, show existing/approved and proposed signage plans, and include renderings of proposed signage indicating size, materials, and location on the building and/or site.
- Additional information may be necessary depending on the specific change proposed.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Record Owner

Date



01/31/25

Applicant or Authorized Agent

Date



E S T A B L I S H E D 1 9 2 3

1609 Rock Creek Blvd.
Joliet, IL 60431
Tel: 815.725.9335
Fax: 815.725.9340
solutions@rberti.com

Commercial Contracting
Construction Management
Design | Build

www.rberti.com

January 31, 2025

Ellen Johnson
City Planner
City of St. Charles
2 E. Main Street
St. Charles, IL 60174-1984

RE: Carriage Oaks PUD 1997-Z-21 located at 1500 S. 14th Street

Dear Ms. Johnson,

We are requesting a minor change to the Carriage Oaks PUD. Currently the property has a small, prefabricated entrance canopy at the main entrance to the building. The changes that we are proposing include a new enhanced, permanent structure that will be a new entrance canopy and installation of a new monument sign that will allow visitors to more easily find the location.

We have included the required forms and drawings that show these changes. We trust that St. Charles and your staff will find that this is a great improvement to the property and the facility.

If you have any questions, please let me know.

Thank You,

A handwritten signature in blue ink, appearing to read 'Richard J. Bertie'.

Richard Bertie
President



January 31, 2025

City of St. Charles
Community Development Division
2 E. Main St
St. Charles, IL 60174

Re: Minor Change to PUD Application – Letter of Authorization

To Whom It May Concern:

I, Torsten Hirche, am the President of Carriage Oaks of Illinois, LLC. Carriage Oaks of Illinois, LLC ("Manager") is the Manager of Carriage Oaks STC, LLC. I am writing this letter in my capacity as President of Manager and for the benefit of Carriage Oaks STC, LLC. Carriage Oaks STC, LLC is the property owner of 1500 South 14th Street, St. Charles, IL 60174 ("Subject Property").

Carriage Oaks STC, LLC permits **R. Berti Building Solutions**, with an office located at 1609 Rock Creek Blvd, Joliet, IL 60431, to file the zoning application with the City of St. Charles for the Subject Property. Please consider this letter granting such authorization to R. Berti Building Solutions.

Very truly yours,

A handwritten signature in black ink, appearing to read "T. Hirche", with a stylized flourish at the end.

Torsten Hirche
President of Carriage Oaks of Illinois, LLC, Manager of
Carriage Oaks STC, LLC

OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF WASHINGTON)
) SS
KING COUNTY)

I, Torsten Hirche, being first duly sworn on oath depose and say that I am President of Carriage Oaks of Illinois, LLC who is the Manager of Carriage Oaks STC, LLC, an Illinois Limited Liability Company (L.L.C.), and that the following persons are all members of said L.L.C.:

- Frankie J. Pane Revocable Trust Dated October 2, 2015, Frankie J. Pane, Trustee;
- Carriage Oaks of Illinois, LLC;
Julie Bennett; and
- Frankie A. Pane.

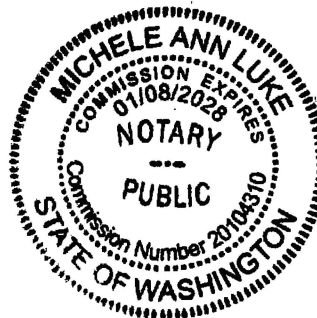
By:

Torsten Hirche
President of Carriage Oaks of Illinois, LLC,
Manager of Carriage Oaks STC, LLC

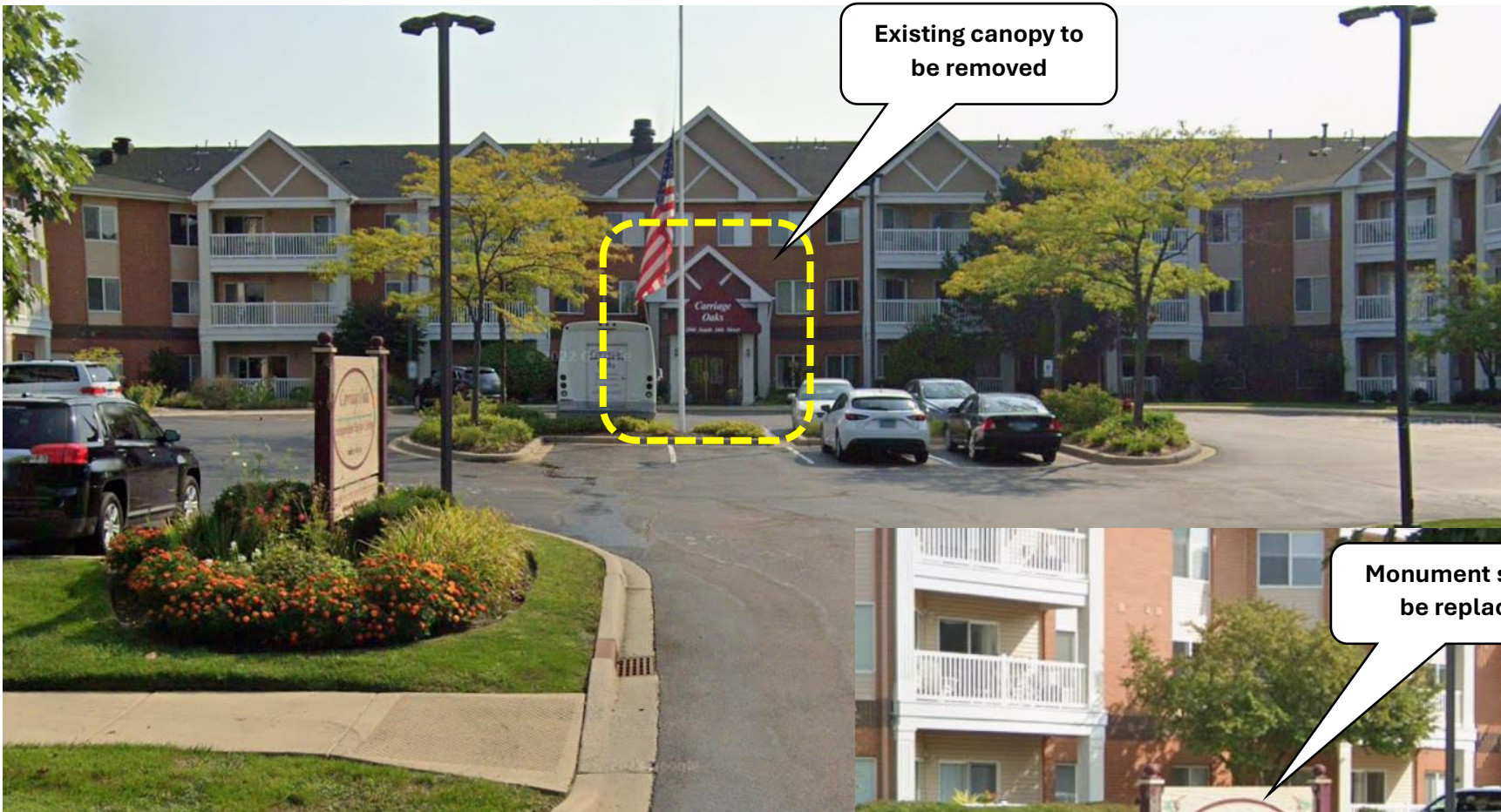
Date: 11/3/15

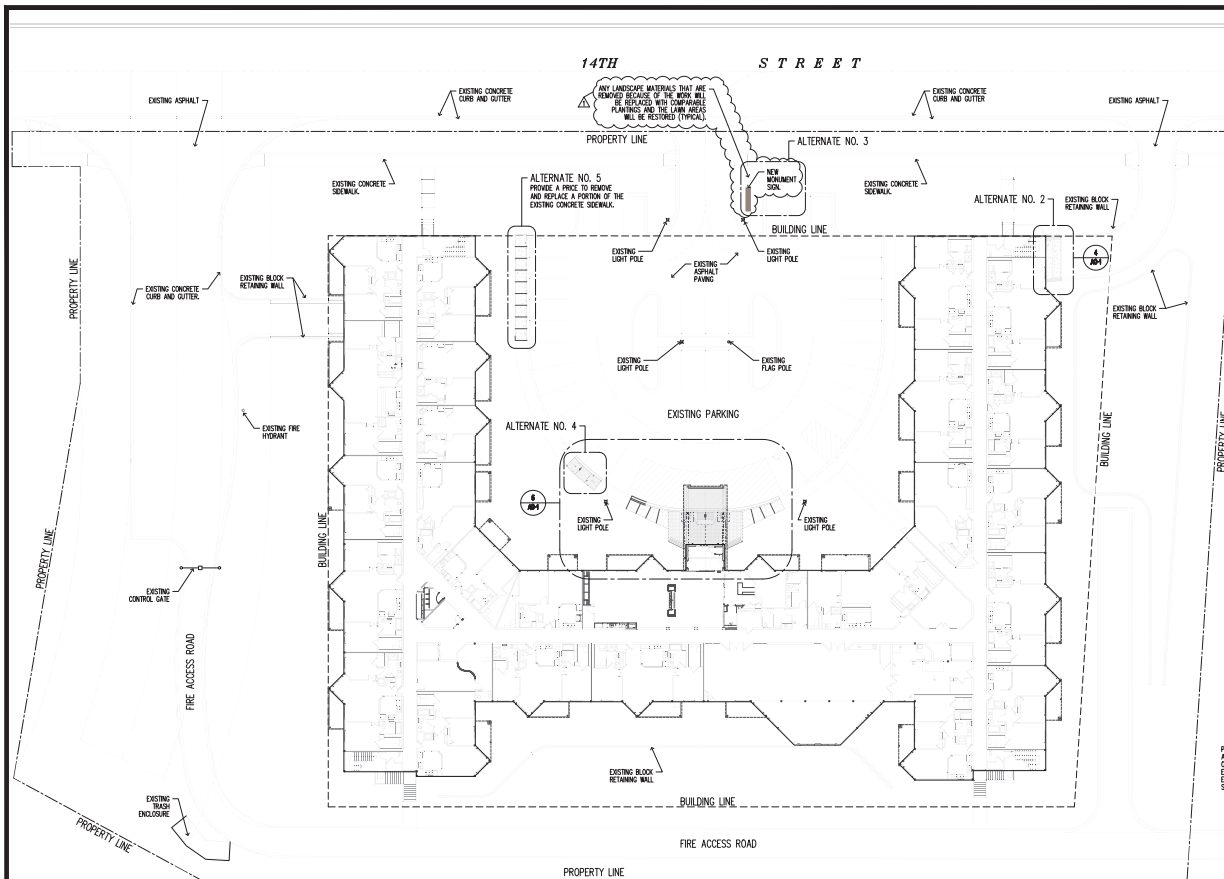
Subscribed and Signed before me this 31st day of November, 2025.

! Michele KE
921 SW V E LANE
NORTH BEND, WA 98045

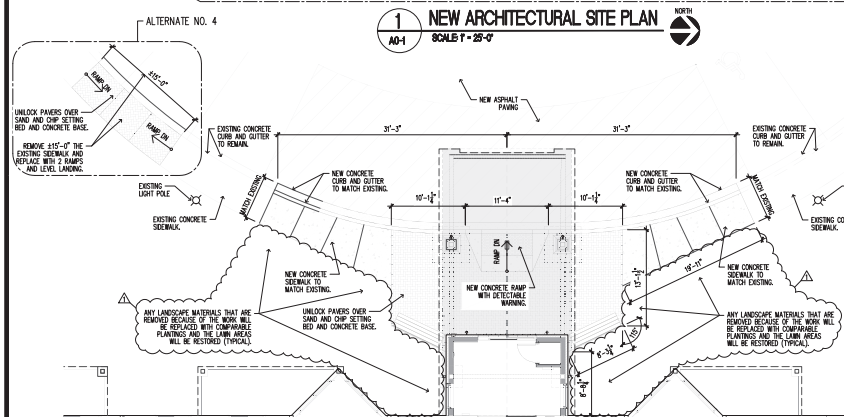


EXISTING

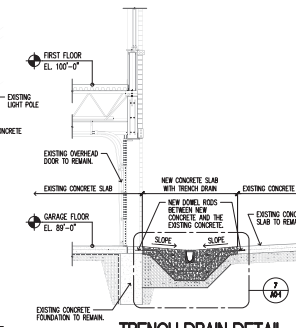




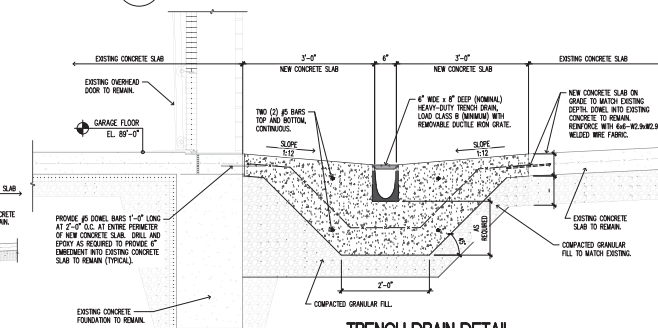
1 NEW ARCHITECTURAL SITE PLAN
A0-1 SCALE 1" = 25'-0"



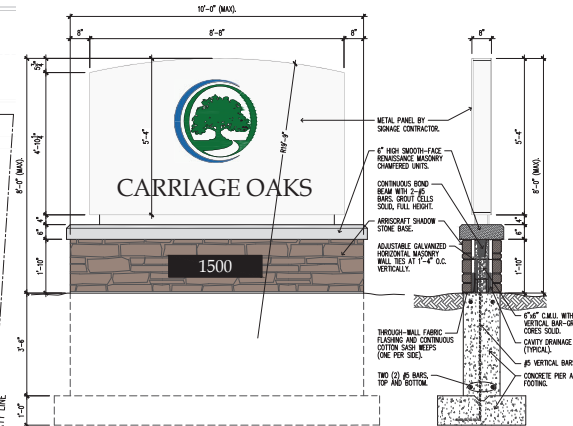
5 ENLARGED PARTIAL SITE PLAN
A0-1 SCALE 1/8" = 1'-0"



6 TRENCH DRAIN DETAIL - ALTERNATE NO. 2
A0-1 SCALE 1/4" = 1'-0"

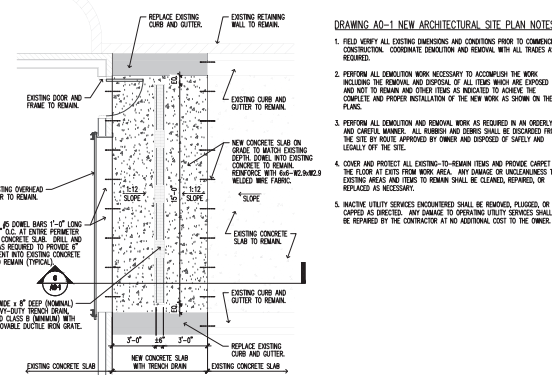


7 TRENCH DRAIN DETAIL - ALTERNATE NO. 2
A0-1 SCALE 3/4" = 1'-0"



2 MONUMENT SIGN ELEVATION - ALTERNATE NO. 3
A0-1 SCALE 1/2" = 1'-0"

3 MONUMENT SIGN SECTION - ALTERNATE NO. 3
A0-1 SCALE 1/2" = 1'-0"



4 ENLARGED TRENCH DRAIN DETAIL - ALTERNATE NO. 2
A0-1 SCALE 1/4" = 1'-0"



KDI DESIGN, INC.
1607 E. MAIN STREET
SUITE 20
ST. CHARLES, IL 60174
PHONE: 630.208.8822
KDI@KDI.COM

CONSTRUCTION DOCUMENTS
NEW REMODELING PROJECT
FOR
CARRIAGE OAKS
RETIREMENT COMMUNITY
1500 SOUTH 14TH STREET
ST. CHARLES, ILLINOIS 60174

Architect's Certification:
STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief, they are in compliance with the Environmental Barriers Act (40 U.S.C. 25) and the Illinois Accessibility Code (71 ILCS Code 405).

Firm #: 16A02063
Expires: 04/30/2025
License: 01.016450
Expires: 11/30/2024

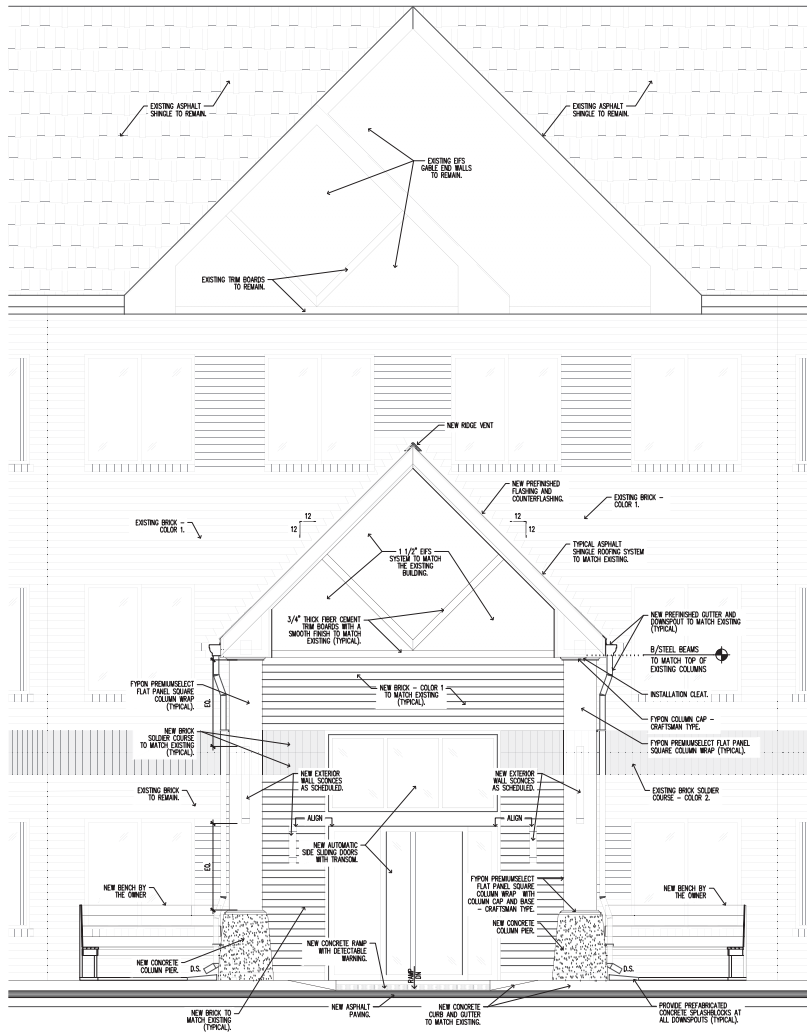
The attached drawings have been prepared under my direct supervision, and I am responsible for their accuracy and compliance with the Environmental Barriers Act (40 U.S.C. 25) and the Illinois Accessibility Code (71 ILCS Code 405).

Drawing Title:
NEW ARCHITECTURAL SITE PLAN AND DETAILS

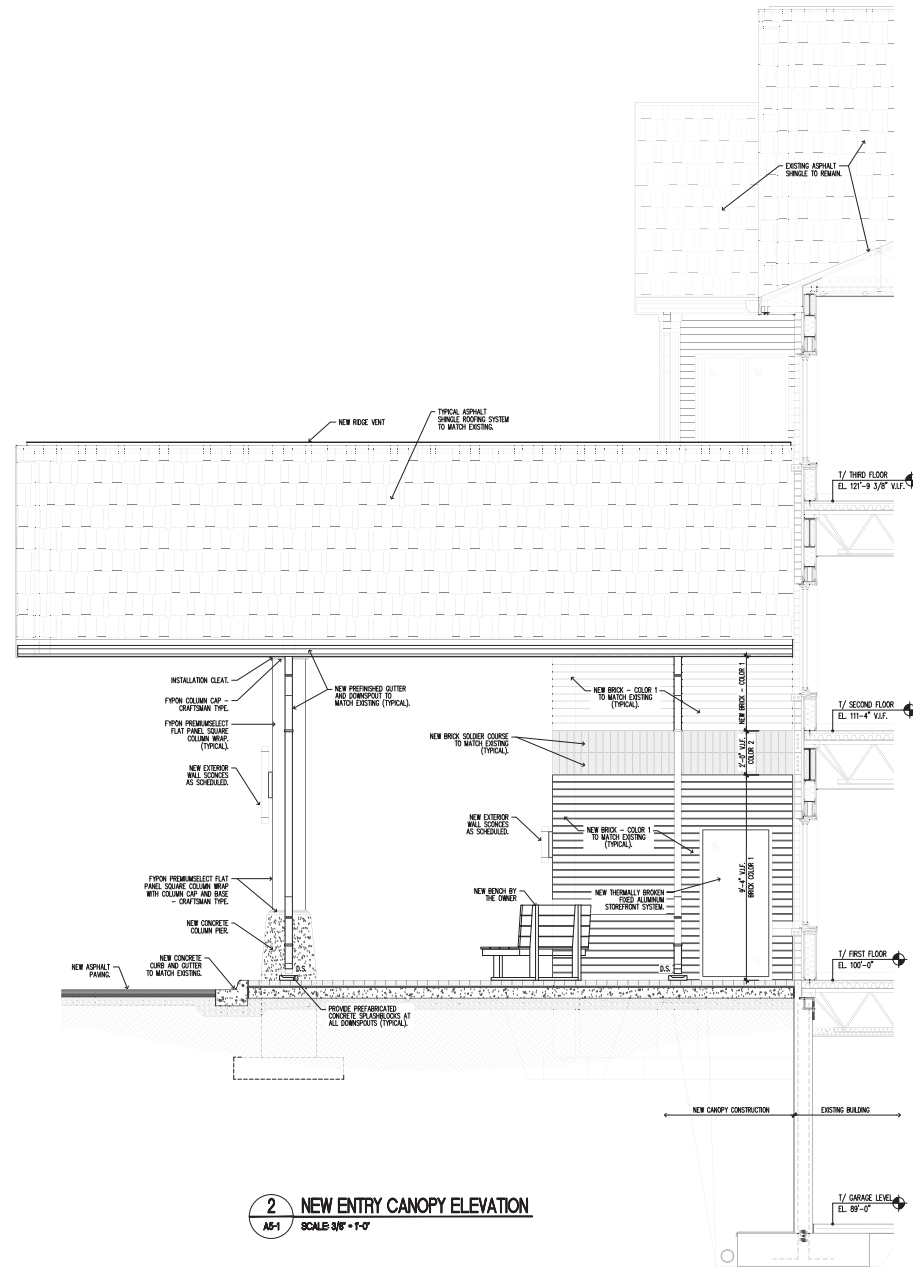
Issue / Revision	No.	Date	Description
1	1/29/2025	SITE RESTORATION CLARIFIED	

Project No.: 21033 Date: 8/26/2024
Drawn By: SSB Checked By: RCM

A0-1
(C) 2024 THE ETHOS WORKSHOP ARCHITECTS, LTD.



1 NEW ENTRY CANOPY ELEVATION
SCALE 3/8\"/>



2 NEW ENTRY CANOPY ELEVATION
SCALE 3/8\"/>

Participating Consultants:

K G Z CONSULTING ENGINEERS, LTD.
PROFESSIONAL ENGINEERING
P.O. BOX 483
Lockport, Illinois 60461
630.557.8733
www.kgz.com

JWA
Structural Engineering
1001 West Anderson Avenue, Suite 200
Naperville, IL 60563
630.557.8733
www.jwadesai.com



KDI DESIGN, INC.
1607 E. MAIN STREET
SUITE 207
ST. CHARLES, IL 60174
PHONE: 630.208.8822
KDI@KDI.COM

Project Name:

CONSTRUCTION DOCUMENTS

NEW REMODELING PROJECT

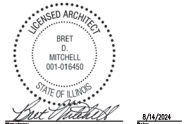
FOR
CARRIAGE OAKS
RETIREMENT COMMUNITY
1500 SOUTH 14TH STREET
ST. CHARLES, ILLINOIS 60174

Architect's Certification:

STATEMENT OF COMPLIANCE

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief to the extent of my contractual obligation, they are in compliance with the Environmental Services Act (410 ILCS 25) and the Illinois Accessibility Code (71 ILCS Code 405).

Firm #: 194-02063
Expires: 04/30/2025
License: 001-06400
Expires: 11/30/2024



The following drawings have been prepared under my direct supervision:

T, S0-1, S2-1, S2-2, A0-1, A1-1, A1-1-1, A1-2, A1-3, A2-0, A2-1, A2-1-1, A3-1, A4-1, A4-2, A4-3, A4-4, A4-5, A5-0, A5-1, A5-1, A5-2, A5-1


Drawing Title:
NEW CANOPY ELEVATIONS

Issue / Revision:	No.	Date:	Description:

Project No.: 21033 Date: 8/26/2024
Drawn By: SB Checked By: RM

A5-1



	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4c
	Title:	Recommendation to approve a Plat of Easement Grant for a Nicor natural gas line through Langum Park.	
	Presenter:	Russell Colby, Community Development Director	
Meeting: Planning & Development Committee		Date: February 10, 2025	
Proposed Cost: N/A		Budgeted Amount: N/A	Not Budgeted: <input type="checkbox"/>
TIF District: None			
<p>Executive Summary (if not budgeted, please explain):</p> <p>Nicor Gas is proposing to install a new regional natural gas main that will cross the Fox River within the City's corporate limits. The alignment will be through Langum Park on the east side of the river and through Mount Saint Mary's Park on the west side. Langum Park is owned by the City of St. Charles, while Mount Saint Mary's Park is owned by the St. Charles Park District.</p> <p>Nicor Gas has worked for several years with the Army Corps of Engineers, the St. Charles Park District, and the City of St. Charles to plan for and design this regional gas main. Nicor has received necessary approvals from the Army Corps of Engineers for the portion of the gas main that will run under the Fox River, and from the St. Charles Park District for the portion of the alignment that will run through Mount Saint Mary's Park. Nicor is now seeking an easement from the City of St. Charles for the portion of the gas line that will run through Langum Park. City staff from multiple departments have reviewed the proposed alignment and the proposed easement and Nicor has accommodated all requirements from City staff.</p> <p>The City currently has a Franchise Agreement with Nicor, which grants Nicor the right to install their distribution system on City property, subject to our applicable standards for utility installations.</p> <p>The proposed alignment through Langum Park is preferred over installing this regional gas main in public streets for at least 2 reasons: 1) it avoids conflicts with other infrastructure such as water mains and sanitary sewer lines; and 2) it avoids the need for this gas main to be relocated if a street is widened or if other infrastructure under a City street (water, sewer, etc...) ever needs to be replaced.</p> <p>The proposed new gas main will ensure that a reliable source and adequate supplies of natural gas are available to the residents and businesses. Work is proposed for Spring of 2025. The proposed natural gas line will be installed with directional boring rather than trenching, and so there will be minimal impact to the park. No trees will be impacted. No improvements at the park (parking lots, drive aisles, playgrounds, etc...) will be impacted.</p> <p>A Nicor Gas Company crew will be present on site for about two weeks during installation of the gas line. Any restoration work will be completed immediately following the installation of the gas line.</p>			
<p>Attachments (please list):</p> <p>Plat of Easement, Ordinance</p>			
<p>Recommendation/Suggested Action (briefly explain):</p> <p>Recommendation to approve a Plat of Easement Grant for a Nicor natural gas line through Langum Park.</p>			

City of St. Charles
Ordinance No. 2024-M-

**An Ordinance Granting Approval of a Plat of Easement Grant
Langum Park Between South 7th Avenue and Riverside Avenue
Nicor Regional Natural Gas Line**

WHEREAS, the City of St. Charles owns Langum Park, legally described in Attachment “A”; and,

WHEREAS, Nicor Gas Company wishes to construct a regional natural gas main that will cross the Fox River in the vicinity of Langum Park; and,

WHEREAS, Nicor Gas Company has requested City approval of the Plat of Easement provided in Attachment “B” to allow the construction of a regional natural gas main through Langum Park between South 7th Avenue and Riverside Avenue; and,

WHEREAS, the City of St. Charles has determined that it is in the best interest of the City of St. Charles that the requested Plat of Easement be approved.

NOW, THEREFORE, BE IT ORDAINED BY THE City Council of the City of St. Charles, Kane and DuPage Counties, Illinois, as follows:

2. That passage of this Ordinance shall constitute approval of the following document, incorporated herein as Exhibit “B”, such that the following document is hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Plat of Easement; Jason M. Lang P.L.S.; dated 1/06/2025

2. That after the adoption and approval hereof the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of February 2025.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of February 2025.

APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 18th day of February 2025.

Lora A. Vitek, Mayor

ATTEST:

Nancy Garrison, City Clerk

COUNCIL VOTE:

Ayes:

Nays:

Absent:

Abstain:

Date:_____

EXHIBIT "A"

LEGAL DESCRIPTION

THAT PART OF THE EAST HALF OF SECTION 34 AND THAT PART OF THE WEST HALF OF SECTION 35, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EAST LINE OF SECTION 34 AFORESAID 10.16 CHAINS NORTH OF THE SOUTH EAST CORNER OF THE NORTH EAST QUARTER OF SAID SECTION, THENCE NORTH ALONG THE SECTION LINE 5.33 CHAINS, THENCE NORTH ALONG THE SECTION LINE 5.33 CHAINS, THENCE SOUTH 87 ½ DEGREES WEST 2.41 CHAINS, THENCE SOUTH 61 ½ DEGREES WEST 22.50 CHAINS TO FOX RIVER, THENCE SOUTH EASTERLY ALONG SAID RIVER TO THE NORTH LINE OF LANDS CONVEYED TO MOSES B. BLISS BY DEED DATED MAY 31, 1843, AND RECORDED JUNE 1, 1843, IN BOOK 3, PAGE 412, THENCE EAST ALONG THE NORTH LINE OF SAID LANDS TO A POINT 7.11 CHAINS EAST OF THE WEST LINE OF SECTION 35 AFORESAID, THENCE NORTH 8 DEGREES EAST 10 CHAINS, THENCE NORTH 35 DEGREES WEST 14.65 CHAINS TO THE POINT OF BEGINNING, ALL IN THE CITY OF ST. CHARLES, KANE COUNTY, ILLINOIS.

PIN: 09-34-288-008

EXHIBIT "B"

PLAT OF EASEMENT

