	AGENDA ITEM EXECUTIVE SUMMARY		Agenda Item number: 4a
	Title:	Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Fox Haven Square (Stuart’s Crossing PUD).	
	Presenter:	Ellen Johnson, Planner	
Meeting: Planning & Development Committee		Date: June 10, 2024	
Proposed Cost: \$		Budgeted Amount: \$	Not Budgeted: <input type="checkbox"/>
TIF District: None			
Executive Summary (if not budgeted, please explain):			
<p>Greco Investment Management LLC has filed applications for Special Use (PUD Amendment) and PUD Preliminary Plan, seeking approval of a commercial development on the vacant 7.5-acre parcel in the Stuart’s Crossing PUD. The property is located south of the Jewel on Kirk Road. The proposal includes:</p> <ul style="list-style-type: none"> • Three restaurant/retail buildings clustered around a plaza at the east end of the site. • Pickleball facility with restaurant at the south end. • Approx. 70,000 total building square footage. • Parking in front along Kirk Road. • Access from existing driveways off E. Main Street and Kirk Road, and through the Jewel site to Foxfield Dr. • New cross-access connection to the Charlestowne Mall property. • Monument signage package for the entire center, including architectural entry features. <p>A Concept Plan similar to the proposal was reviewed in Sept. 2023.</p>			
Plan Commission Review			
<p>Plan Commission held a public hearing on 6/4/24. Commissioners were enthusiastic about the project, and appreciative of the applicant’s commitment to address the remaining staff comments. Plan Commission unanimously recommended approval, subject to resolution of outstanding staff comments as listed in the Staff Report. Two items of note:</p> <ol style="list-style-type: none"> 1. <u>Building 4 Elevations</u> – The Pickleball facility is early in the design process. Staff has a number of comments on the exterior. Comments are aimed at enhancing the appearance of the building due to its visibility, size, and siding material (metal panels). The applicant has indicated that they intend to work with the pickleball tenant and staff to revise the design, but stay within the theme of the architectural style. (Note- If the revised elevations are not finalized before the rest of the project is ready for a final City Council vote, the revised elevations could be provided at a later date and presented for review and approval by Plan Commission and P&D Committee.) 2. <u>Kirk Road Sidewalk</u> – Staff has requested public sidewalk be provided along the development’s Kirk Road frontage, and possibly extending south along the bank property, to the Rt 64 ROW. Based on feedback from KDOT, a sidewalk extending south would trigger a requirement for cross-walks at Kirk/Rt 64. At Plan Commission, it was discussed that instead extending sidewalk to the north along the Jewel property to Foxfield Drive would be more feasible and desirable from a pedestrian connectivity standpoint. The developer has agreed to provide sidewalk along the development frontage. They intend to include the off-site sidewalk along the Jewel property in a sales tax incentive request for off-site improvements. The incentive request will also include the new cross-access to the Mall property. 			
Attachments (please list):			
Plan Commission Resolution, Staff Report, Applications, Plans			
Recommendation/Suggested Action (briefly explain):			
Recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Fox Haven Square (Stuart’s Crossing PUD), subject to resolution of outstanding staff comments, prior to City Council action.			

City of St. Charles, Illinois
Plan Commission Resolution No. 9-2024

**A Resolution Recommending Approval of an Amendment to Special Use for
Planned Unit Development and PUD Preliminary Plan for Fox Haven Square,
Stuart's Crossing PUD Lot 4 (Greco Investment Management LLC)**

Passed by Plan Commission on June 4, 2024

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use for PUD (PUD Amendment) and PUD Preliminary Plan for Fox Haven Square, Stuart's Crossing PUD Lot 4 (Greco Investment Management LLC); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.**
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

The site improvements are proposed on vacant land which is under utilized in a highly commercial area of the City. These buildings and improvements will attract additional businesses and serve the City and surrounding communities. There is a proposed outdoor plaza and seating area which will promote social interaction. In

addition, the increased consumer traffic will improve the accessibility to existing businesses in the area, bringing in increased activity and revenue to the City.

ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

The amendment to the PUD will provide additional community amenities in the form of an outdoor plaza/seating area which will promote increased social interaction. Proposed landscaping will provide natural feels and proposed permeable pavers within the parking lot promote positive stormwater management principles.

iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):

- A. Public Convenience: The Special Use will serve the public convenience at the proposed location.**

The site is surrounded by existing commercial retail which is currently serving the public. The improvements will increase public usage and convenience.

- B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.**

The project site was originally part of the Stuart's Crossing PUD, which provided detention and infrastructure for future development.

- C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.**

The site is surrounded by existing commercial retail. The proposed commercial buildings will not impact the surrounding businesses in a negative way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The site is surrounded by existing commercial retail, therefore will not impede on normal and orderly development of the surrounding property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The site is within an existing commercial area, therefore will not change the demographics of the surrounding businesses and will not be detrimental to the public.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The development will conform to existing and approved provisions as applicable to the existing PUD and the City codes.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed development will utilize vacant space to attract additional businesses which can be accessed by the City and surrounding communities. This will attract consumers and bring additional revenue to the City.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed commercial retail development is within an existing commercial area of the City, therefore will not impact the purpose and intent of the Comprehensive Plan.

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use for PUD (PUD Amendment), subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of an Amendment to Special Use for Planned Unit Development and

Resolution No. 9-2024
Page 4

PUD Preliminary Plan for Fox Haven Square, Stuart's Crossing PUD Lot 4 (Greco Investment Management LLC), subject to resolution of staff comments.

Roll Call Vote:

Ayes: Moad, Lawson, Wiese, Ewoldt, Rosenberg, Gruber, Fitzgerald, Vargulich

Nays:

Absent: Funke

Motion carried: 8-0

PASSED, this 4th day of June 2024.

Chairman
St. Charles Plan Commission



Applicant:	Greco Investment Management LLC
Property Owner:	SVAP III Stuart's Crossing Vacant Lot LLC & SVAP III Stuart's Crossing Small Shops LLC
Location:	East side of N Kirk Rd., north of Rt. 64, south of Jewel
Purpose:	Commercial development
Application:	Special Use (PUD Amendment) PUD Prelim. Plan
Public Hearing:	Yes, required
Zoning:	BR Regional Business / PUD
Current Land Use:	Vacant
Comprehensive Plan:	Corridor / Regional Commercial

Fox Haven Square



Subject Property

Summary of Proposal:	<p>Greco Investment Management LLC has filed zoning applications seeking approval to construct a commercial development on the vacant 7.5-acre parcel in the Stuart's Crossing PUD. The property is located south of the Jewel on Kirk Road. The proposed development includes:</p> <ul style="list-style-type: none"> • Three restaurant/retail buildings clustered around a plaza at the east end of the site and pickleball/restaurant building at the south end. • Approx. 70,000 total building square footage. • Parking in front, along Kirk Road • Access from existing driveways off E. Main Street and Kirk Road. • Preserve existing cross-access drive through the property from Jewel to E. Main St. • New cross-access to the Charlestowne Mall property. <p>A Concept Plan similar to the proposal was reviewed in Sept. 2023.</p>
Info / Procedure on Application:	<p>Special Use (PUD Amendment):</p> <ul style="list-style-type: none"> • Approval of development project with specific deviations from the Zoning Ordinance and/or existing PUD Ordinance standards. (Establishes an ordinance amending the existing PUD, with unique zoning or subdivision standards that apply to a single development site) • Public hearing is required, with a mailed notice to surrounding property owners.

- Single finding – Is the PUD Amendment in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.
- The Plan Commission may recommend conditions and restrictions upon the establishment, location, design, layout, height, density, construction, maintenance, aesthetics, operation and other elements of the PUD as deemed necessary to secure compliance with the standards specified in the Zoning Ordinance.
- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

PUD Preliminary Plan:

- Approval of plans for development of property within a PUD- includes site, landscape, and engineering plans.
- Recommendation is based on compliance with the previously (or concurrently) approved Special Use for PUD standards and other City Code requirements.

Suggested Action:

Conduct the public hearing on the Special Use (PUD Amendment) and close if all testimony has been taken.

The Plan Commission may vote on this item should the Commission feel that they have enough information to make a recommendation.

Staff recommends that any recommendation include a condition requiring resolution of staff comments prior to City Council action.

Staff Contact: Ellen Johnson, Planner

I. PROPERTY INFORMATION

A. History / Context

The subject property is a vacant 7.5-acre parcel platted as Lot 4 of Stuart’s Crossing Retail Subdivision. The subject property also includes a portion of Lot 3 of the same subdivision, which encompasses the Kirk Road site access drive and the “Small Shops” multi-tenant center attached to Jewel. The subject property is within “Parcel 2” of the Stuart’s Crossing PUD. The PUD was approved under Ordinance No. 1997-M-115 “An Ordinance Granting a Special Use as a Planned Unit Development (Stuart’s Crossing PUD)”. The PUD encompasses a large swath of properties situated around the southwest and northeast corners of E Main St. and Kirk Rd.

The PUD Ordinance contains development standards and design criteria for each of the four portions of the PUD:

- Parcel 1: Stuart’s Crossing Townhomes (NE corner of Kirk Rd. & Foxfield Dr.)
- Parcel 2: Commercial properties at the northeast corner of Kirk Rd. & E Main St., south of Foxfield Dr. (former On The Border, Old Second Bank, Jewel, multi-tenant center, vacant property)
- Parcel 3A: Commercial properties at the southwest corner of Kirk Rd & E Main St. (Dunkin Donuts, Walgreens, Wok n Fire, Panera, First American Bank)
- Parcel 3B: Ascend St. Charles Apartments, south of Parcel 3A (formerly AMLI)

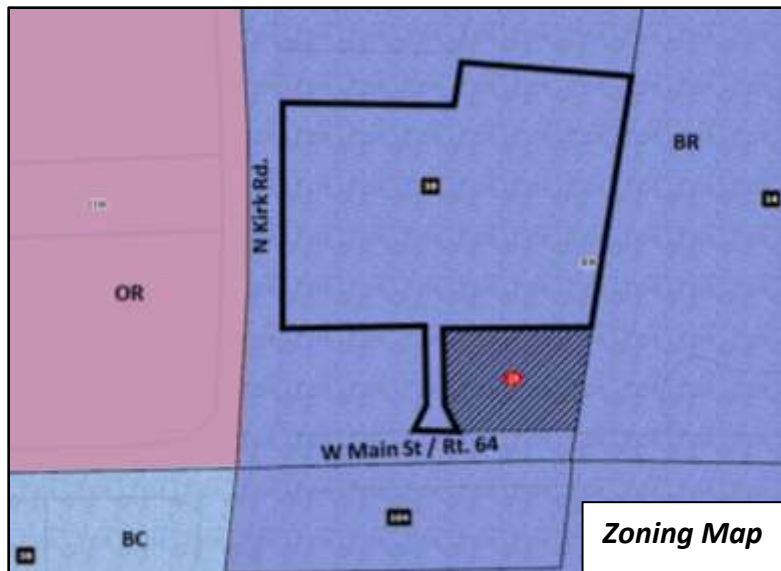
The PUD was primarily built out in the early 2000s, with the exception of Lot 4, which has remained vacant aside from a shared access drive that bisects the property north-south, providing access to Jewel from Main Street.

In September 2023, the Plan Commission and Planning & Development Committee reviewed a Concept Plan for the subject property which proposed four commercial buildings and an outdoor plaza.

B. Zoning

The subject property is zoned BR Regional Business and PUD (Stuart’s Crossing PUD). Commercial zoning exists to the north, east, and south, with a church to the west.

	Zoning	Land Use
Subject Property	BR Regional Business/PUD	Vacant
North	BR Regional Business/PUD	Commercial strip center, Jewel
East	BR Regional Business/PUD	Charlestowne Mall
South	BR Regional Business/PUD	Old Second Bank, On The Border, Pride Gas Station
West	OR Office/Research	St. John Neumann Church



C. Comprehensive Plan

The Land Use Plan adopted as part of the [2013 Comprehensive Plan](#) identifies the subject property as “Corridor/Regional Commercial” (Ch. 4).



The Corridor/Regional Commercial land use category is described as follows (p.46):

Areas designated as Corridor/Regional Commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, capitalizing on traffic volumes along the City's busy streets and drawing on a customer base that extends beyond the City limits. These areas are appropriate for "big box" stores, national retailers, and regional malls or a "critical mass" of multiple stores and large shared parking areas. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.

The Land Use Plan identifies Corridor/Regional Commercial in the City's east and west gateways, clustered around Kirk Road and Randall Road, two busy north south streets that bi-sect the City. Both of these areas are ideally suited for a large scale commercial/retail development capable of drawing from a larger region. At both locations, access and visibility is ideal for a more regional commercial draw, and heavy traffic volumes provide visibility desired by retailers. As development and redevelopment is considered in these areas, consideration should be given to maximizing revenue generating opportunities. It is also important to recognize the importance of promoting high-quality development in these locations as they serve as gateways into the City and are pivotal in shaping perceptions of St. Charles as visitors enter the City.

Both the Kirk Road and Randall Road corridors are critical to the economic livelihood of the City and both have challenges and issues that must be addressed in order to maintain their vitality.

In addition, the subject property and surrounding commercial areas are part of the **East Gateway Subarea**, which is centered on the intersection of Kirk Rd. and Main St. (p.102). The following goals and objectives were created in recognition that the area represents a significant piece of the local economy.

Subarea Goals

The East Gateway subarea represents a unique opportunity for economic development, revitalization and stabilization with for a specific context within the City of St. Charles. The overall vision for the subarea includes the following:

- *Revitalization of the Subarea's retail areas that maximizes the locational assets within this area of the City.*
- *Improved connectivity and circulation within the Subarea providing logical and efficient connections between compatible uses.*
- *Better separation of incompatible land uses to protect residential neighborhoods while at the same time help define the City's business areas.*
- *Attractive streets and sites to distinguish this Subarea and key corridors from neighboring communities.*
- *A mix of uses that that help diversify the City's economy and provide places to live, work, and shop.*

Subarea Objectives

- *Improve the appearance of the Kirk Road and Main Street Corridors to assist in strengthening the community's identity and appearance through installation of streetscaping, wayfinding and gateway elements.*

- *Use landscaping appropriately to enhance commercial areas, screen unsightly areas, and provide an attractive streetscape and overall setting for the area.*
- *Improve the overall connectivity and mobility within the Subarea through both public streets and internal connection to provide a predictable and navigable environment.*
- *Preserve surrounding neighborhoods through the use of screening, buffering, and better separation from commercial development.*
- *Create market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.*
- *Take advantage of proximity to DuPage Airport and Pheasant Run as activity generators.*
- *Reposition the Charlestowne Mall site to foster its renaissance or its redevelopment.*
- *Enhance the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and at-tractive building design and materials.*

The subject property is identified as **Catalyst Site “B”** within the East Gateway Subarea (P.104):

South of the Jewel-Osco along Kirk Road, this vacant site provides an opportunity to provide exposure and access for the Charlestowne Mall to Kirk Road. Development of the site should have strong orientation to Kirk Road, but also should be careful not to neglect its rear side that will be exposed to the Charlestowne Mall site.

In addition, the Charlestowne Mall Framework Plan (p.105) contemplates extending the east-west cross-access drive between Jewel and the subject property through to the Charlestowne Mall property.

II. PROPOSAL

Greco Investment Management LLC is proposing to develop a commercial development on Lot 4 and part of Lot 3 of the Stuart’s Crossing PUD. Two applications have been filed:

1. **Application for Special Use** requesting to amend the Stuart’s Crossing PUD to allow for certain deviations from the existing PUD Ordinance and the Zoning Ordinance. Requested deviations are in regards to the setback on Kirk Road, off-street parking, development signage, landscaping, and building design.
2. **Application for PUD Preliminary Plan** to approve the site layout, landscaping, building elevations, photometric, and preliminary engineering plans.

The proposed development is summarized as follows:

- Three restaurant/retail buildings clustered around a plaza at the east end of the site.
 - Building 1 – 16,500 sf restaurant & 9,650 sf retail
 - Building 2 – 19,500 sf restaurant
 - Building 3 – 4,000 sf restaurant & 10,250 sf retail
 - Plaza area for outdoor dining and communal gathering
- Pickleball/restaurant building at the south end of the site
 - Building 4 - 20,000 sf
- Parking in front of the buildings, along Kirk Road.
- Valet/drop-off area in front of the plaza.
- Access from existing driveways off E. Main Street and Kirk Road.
- Preserve existing north-south cross-access drive through the property from Jewel to E. Main Street
- New east-west cross-access from Kirk Road to the Charlestowne Mall property.
- Public sidewalk along Kirk Road to Main Street.

A Concept Plan similar to the proposal was reviewed in Sept. 2023. Plan Commissioners provided feedback to the application, which is summarized as follows:

- Support for the land use and site layout.
- Excitement about potential restaurant uses and the building/plaza design concept.
- Support for cross-access to Charlestowne Mall via an extension of the E-W drive off Kirk Road.
- Recommendation to explore options for shared parking with the Jewel property.
- Importance of walkability between adjacent developments.
- Importance of four-sided architectural design given the visibility of the buildings.
- Importance of landscaping to enhance the parking lot and throughout the site.

The current proposal is similar in layout to the Concept Plan. The following are the more significant changes that have been made since Concept:

- Building 4 was previously shown as retail/office building. A pickleball/restaurant facility is now proposed, which has a different architectural design than Buildings 1-3.
- Addition of public sidewalk along Kirk Road to Main Street.
- Detailed plans for the plaza.

III. PLANNING ANALYSIS

Staff has analyzed the proposed development to determine compliance with applicable standards of the Stuart’s Crossing PUD and the Zoning Ordinance. Plans were reviewed against the following code sections and documents:

- | | |
|--|--|
| • Ord. 1997-M-115 | • Ch. 17.24 Off-Street Parking, Loading & Access |
| • Ch. 17.06 Design Review Standards & Guidelines | • Ch. 17.26 Landscaping & Screening |
| • Ch. 17.14 Business & Mixed Use Districts | • Ch. 17.28 Signs |

A. Proposed Uses

Permitted uses in the Stuart’s Crossing PUD are provided in Exhibit IV of Ord. 1997-M-115. Proposed uses include retail and restaurant. These uses are permitted in the PUD. The proposed pickleball facility would be classified as “Physical Culture”, which is also permitted in the PUD. Under the current Zoning Ordinance, the pickleball facility would be classified as “Indoor Recreation”, which is permitted in the underlying BR District.

Outdoor Sales is listed as a Special Use in the PUD. Outdoor Sales includes Outdoor Dining. Outdoor Dining is proposed for the restaurant users. As part of the PUD Amendment, Outdoor Dining would be defined as a permitted accessory use to a Restaurant. This would align with the underlying BR District zoning.

B. Site Access & Circulation

Access to the site will be via existing access points into the property. This includes right-in/right-out access from E. Main Street via the drive that runs between Old Second Bank and the former On The Border, and right-in/right-out access from Kirk Road via the driveway shared with Jewel. Cross access between the properties will be preserved.

Also proposed is extension of the E-W drive off Kirk Road, through the site to the Charlestowne Mall property. This will allow for cross-access between this development and

the mall property. In addition, a new N-S cross-access will be provided at the east end of the site.

Public sidewalk is proposed along the Kirk Road frontage of the site, extending down to the Main Street right-of-way. While sidewalk is not provided along adjacent properties, staff has requested this sidewalk to allow for future connectivity.

Within the site, sidewalk is provided along the E-W drive between Kirk and Charlestowne Mall. Crosswalks are shown at four points between the parking lot and Bldgs 1-3/plaza area. Sidewalks/plaza are also provided around the buildings.

Staff Comments:

- ✓ A cross-access easement will be needed with the Charlestowne Mall property owner to allow the E-W drive connection. The applicant is working with the mall property owner on this agreement and will provide staff with a copy once it is ready.
- ✓ A cross-access easement will be needed for the new N-S cross access to the Jewel property to the north.
- ✓ Staff has requested the applicant verify existing easements for cross-access to adjacent properties.

C. Bulk Standards / Site Plan

The table below compares the development plans with the applicable standards of the Stuart’s Crossing PUD. The standards of the underlying BR District are also listed. The applicant has requested a deviation from the 50 ft. setback from Kirk Road, which is a requirement of the PUD. A deviation to allow for a parking reduction has also been requested.

Category	BR District (underlying zoning)	PUD Standard	PROPOSED
Bldg. Coverage	30%	N/A	21%
Floor Area Ratio	N/A	1.3	.21
Max. Building Height	40 ft.	N/A	Bldgs 1 & 2: 29 ft. Bldg 3: 28 ft. Bldg 4: 39 ft.
Kirk Rd. property line	Building: 20 ft. Parking: 20 ft.	Building: 50 ft. Parking/paving: 50 ft.	Building: 40 ft. Parking/paving: 40 ft.
Interior Side Yard (north & south)	Building: 15 ft. Parking: 0 ft.	Building: 0 ft. Parking/paving: 0 ft.	Buildings: North- 13 ft; South- 11 ft. Parking/paving: 0 ft.
Rear Yard (east)	Building: 30 ft. Parking: 0 ft.	Building: 20 ft. Parking/paving: 20 ft.	Building: 71 ft. Parking/paving: 20 ft.
Parking Spaces	<u>Restaurant</u> : 10 per 1,000 sf GFA (364 spaces for Bldgs 1-4) <u>Retail</u> : 4 per 1,000 sf GFA (80 spaces for Bldgs 1-2) <u>Indoor Recreation</u> : 4 per 1,000 sf GFA (up to 121 spaces for Bldg 4) Total required: <u>565 spaces</u>	<u>Restaurant</u> : 15 per 1,000 sf net floor area (546 spaces for Bldgs 1-4) <u>Retail</u> : 4 per 1,000 sf net floor area (80 spaces for Bldgs 1-2) <u>Physical Culture</u> : not defined, assume same as BR zoning- 121 spaces Total required: <u>747 spaces</u>	434 on-site parking spaces (not including shared parking on Jewel property)

Staff Comments:Parking:

- ✓ The applicant has requested a deviation from the PUD parking requirement for this development. A deviation would also be needed if the parking calculation were to revert to the underlying zoning. A total of 434 parking spaces are provided on-site. Under the current zoning ordinance, 565 spaces would be required. Under the existing PUD, the parking requirement would be 747 spaces.
- ✓ Shared parking with Jewel and the adjacent “Small Shops” building is contemplated. The applicant is under contract to purchase these properties. Documentation regarding shared parking arrangements among the properties will be needed.
- ✓ For reference, hours of operation of the businesses on these properties are as follows:
 - Jewel: 6am to 12am
 - Rosati’s: 9am to 1am most days
 - Tips 2 Toes Nail Salon: 10am to 8pm most days
 - Vacant space for lease: TBD

Site Plan:

- ✓ The foundation planting beds shown around Building 4 do not appear to reflect the location of the main entrance doors per the architectural plans.
- ✓ Staff has asked for clarification of the BMP bioretention areas A & B; will this be turf grass? Approval of the proposed BMP bioretention area will require compliance with City stormwater management requirements.
- ✓ Staff suggests the dumpster located north of Building 1 be pushed back towards the building to avoid a jog in the sidewalk and so the dumpster doors do not interfere with the vehicle drive aisle.
 - Consider eliminating the Building 1 dumpster and enlarging the Building 2 dumpster, instead.
- ✓ Existing pavement shown to remain at the SE end of the site and along the entirety of the N-S access drive south to Main Street is in poor condition. This pavement should be removed and replaced.
- ✓ Staff has asked for clarification on the proposed material for the majority of surfacing around Buildings 1 and 3; will this be concrete?
- ✓ Bollards are suggested near building corners close to drive aisles, such as for Building 4 and the existing Small Shops building.
- ✓ The location of the Bldg 4 dumpster necessitates access via the Old Second Bank property. The applicant has indicated that the dumpster will be relocated to the east side of the building.
- ✓ Staff has requested clarification regarding usage rights of the existing parking constructed for On The Border that encroaches onto the subject property.

D. Landscaping

A landscape plan has been submitted and reviewed against the requirements of Ch. 17.26 “Landscaping and Screening”. The plan depicts the quantity and location of plantings, grouped into tree/shrub/grasses/perennials/groundcover categories. A plant list is included. Plantings will be selected from the plant list. The finalized selections will need to be identified on the final landscape plan submitted prior to permitting.

Landscaping is provided along Kirk Road, along the E-W access drive, within parking lot islands, around buildings, and in planters within the plaza. Parkway trees are provided between Kirk Road and the public sidewalk.

The Table below compares the applicable standards and the proposed plans. A deviation has been requested from building foundation landscaping requirements to allow for the extent and location of landscaping as shown on the plans.

Category	Zoning Ordinance Standard	Proposed
Overall Landscape Area	15%	Over 15%
Public Street Frontage Landscaping <i>(applies to Kirk Road frontage)</i>	75% of frontage 1 tree per 50 lineal ft. (11 trees required)	75% of frontage 11 trees
Parking Lot Screening <i>(applies to Kirk Road frontage)</i>	50% of parking lot to height of 30"	Over 50%
Interior Parking Lot Landscaping	1 landscape island per 10 parking spaces 1 tree per island + variety of plantings	Meets requirement <i>See comment regarding electric transformers</i>
Building Foundation Landscaping	50% of total building walls; 50% of front building walls; 5 ft. wide planting beds; 2 trees & 20 shrubs/bushes/perennials per 50 ft of planting bed	<i>Bldgs 1-3: Does not meet; deviation requested</i> Bldg 4: Meets requirement
Monument Sign Landscaping	3 ft. around signs	<i>Landscaping needed</i>
Refuse Dumpster Screening	Enclosed and screened on all sides when visible from public street	Screening provided, utilizing brick to match buildings

Staff Comments

- ✓ Staff suggests relocating the transformers behind Buildings 1 and 2 so that trees and plantings can be provided in the parking lot islands.
- ✓ Plantings are suggested between the EV charging stalls and sidewalk.
- ✓ Plantings are required around all freestanding signage. Freestanding signs shall be landscaped to at least 3 ft. around the outer edge of the sign base on all sides, utilizing a mixture of shrubs, grasses, and/or perennials to a height of 12" to 3 ft. at planting.

E. Building Design

Buildings in the BR District are subject to Design Review Standards and Guidelines contained in Ch. 17.06. Elevation drawings have been submitted for each building. Buildings 1-3 are designed around a unified theme, with brick as the primary façade material, stone veneer accents, varied buildings heights, and tall storefront windows. Space for art murals are identified on the rear of each building.

Building 4, the pickleball building, incorporates a barn-like design with farmhouse styling. The façade material is prefabricated metal panels, with a stone veneer knee wall. Protective netting or other barrier will be provided over the open court area on the second floor.

PUD deviations have been requested from the following design standards, in order to allow the buildings as-designed. Deviations from the following requirements will be needed:

1. Building facades over 100 ft. in length shall incorporate wall portions or recesses a minimum of 3 ft. in depth, extending over 20% of the façade.
 - a. Bldg 1: applies to the south and north elevations. Bump-outs are incorporated, but are less than 3 ft. in depth.
 - b. Bldg 2: applies to the west elevation. Bump-outs are incorporated, but are less than 3 ft. in depth.
 - c. Bldg 3: applies to the north and south elevations. Bump-outs are incorporated, but are less than 3 ft. in depth.
 - d. Bldg 4: applies to the north elevation. No projections/recesses are incorporated.
2. Facades that face a street shall have at least 2 of the following architectural features:
 - Change in wall plane of at least 2 ft.
 - Change in wall texture or masonry patterns.
 - Transparent windows
 - Columns or pilasters projecting at least 6" from the wall
 - a. Bldg 1: not met on the north elevation (side facing E-W access drive)
3. Roof lines should be varied with a change in height or incorporation of a major focal feature every 100 feet in building length.
 - a. Bldg 4: not met on the north or south elevation.
4. Certain exterior building materials are prohibited, including pre-fabricated steel panels of the type used in farm, storage, and industrial buildings.
 - a. Bldg 4: pre-fabricated metal panels are used for the exterior.

Staff Comments:

- ✓ The Bldg 2 floor plan depicts a 180'x100' footprint. The site plan shows a 195'x100' footprint. Clarification is needed.
- ✓ The Bldg 3 floor plan depicts a 190'x85' footprint. The site plan shows a 190'x75' footprint. Clarification is needed.
- ✓ Bldg 4 – Staff has provided the applicant with a number of suggestions aimed at enhancing the appearance of the building due to its location in a commercial district and better integrating the building with the rest of the development:
 - Create a more well-defined building entrance on the north elevation.
 - Provide additional articulation and interest through the addition of awnings and lighting.
 - Consider doors with windows or storefront windows surrounding the barn doors.
 - Consider bumping out the building entrance to further accentuate the entrance and to provide consistency with Bldgs 1-3.
 - The windows on the north and south elevations should be larger/taller to cover more wall area and balance the elevations. A window pattern/scale/proportion similar to that of the east and west elevations could be continued on the north and south.
 - Consider adding cupolas to the roof. Perhaps three; a larger cupola at the center with a smaller cupola on each side.
 - A higher roof pitch is suggested.
 - The material of the roof needs to be clarified.
 - An alternative color to white may soften the appearance of the metal panels given the size of the building.
 - Clarification has been requested on the proposed finish of the metal panels.

F. Signage

The PUD Ordinance allows up to one sign on each building wall, but no more than 2 wall signs are permitted per business. The applicant has requested a PUD deviation to allow building signage in locations as shown on the building elevations, as some of the buildings will have multiple tenants. Intended sign locations are not shown on Bldg 4. The PUD would permit up to two wall signs for Bldg 4.

Allowable freestanding signage for the subject portion of the Stuart’s Crossing PUD was amended under Ord. 1999-M-43. That ordinance allows off-site signage at any location within Parcel 2 of the PUD. It also allowed for two freestanding signs over 8 ft. in height, located at least 25 ft. from Main Street and 35 feet from Kirk Road. Existing freestanding signs for the Jewel and Small shops properties are located at the corner of Main & Kirk, Kirk Road entrance, and the corner of Foxfield & Kirk.

A total of four freestanding signs are proposed. The existing freestanding signs will be replaced with signs incorporating Fox Haven Square branding, with an additional sign at the cross-connection to the Charlestowne Mall property. Renderings of the signs have been provided, described as follows:

- Two-column sign on each side of the site entrances off Kirk Road and Charlestowne Mall. The columns are connected by what appears to be metal wiring. Brick base. 28 ft. in height.
- Multi-tenant sign at Foxfield & Kirk. Brick base. Two-sided. Approx. 31 ft. in height.
- Multi-tenant sign at Main & Kirk. Brick base. Two sides forming L-shape. Brick base. Approx. 34 ft. in height.

The maximum height of shopping center signs in the underlying BR District is 30 ft.

Staff Comments

- ✓ The proposed sign at the corner of Main & Kirk is located within the 20 ft. site triangle. The sign will need to be pushed back, outside of the site triangle to allow for adequate motorist visibility.
- ✓ Dimensions of the sign facades are needed for all freestanding signs.
- ✓ The location of the sign at Kirk & Foxfield needs to be clarified on a scaled site plan. It appears that this sign will replace the existing Jewel sign at this corner, but this needs to be verified.

G. Site Lighting

A photometric plan has been submitted indicating the location of pole lights and lighting levels at property lines. The plan complies with Section 17.22.040 “Site Lighting”. Details on building-mounted lighting and lighting around the plaza will be required prior to permitting.

IV. DEPARTMENTAL REVIEWS

A. Engineering Review

The subject property is served by City utilities. Stormwater detention for this development was previously constructed as part of the Stuart’s Crossing PUD. Permeable pavers and an above ground BMP area have been incorporated into the parking lot to provide for the additional storage needed to accommodate the development. Review comments that are

technical in nature have been provided to the applicant. Engineering comments shall be resolved prior to City Council action.

B. Electric Review

Transformer locations for the buildings have been shown on the plans, however routing of the electric infrastructure has not been shown and shall be provided for review.

C. Fire Dept. Review

The Fire Dept. has reviewed the plans and has determined that site access for emergency vehicles is adequate.

V. OPTIONS FOR PLAN COMMISSION ACTION

1. Public Hearing – Close or Continue

If the Plan Commission feels they have adequate information the public hearing may be closed. The public hearing may be continued if additional information is deemed necessary to provide a recommendation.

If Public Hearing is closed-

2. Make a Recommendation to Planning & Development Committee

There is a single finding required for the City to approve a PUD application: ***Is the PUD in the public interest?*** There are five Criteria to be considered to reach a decision. These 5 Criteria are:

1. *The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:*
 - i. *To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.*
 - ii. *To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.*
 - iii. *To encourage a harmonious mix of land uses and a variety of housing types and prices.*
 - iv. *To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.*
 - v. *To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.*
 - vi. *To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.*
 - vii. *To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies, and the community.*
2. *The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:*

- A. *Conforming to the requirements would inhibit creative design that serves community goals, or*
 - B. *Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.*
3. *The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):*
- a. *Public convenience: The Special Use will serve the public convenience at the proposed location;*
 - b. *Sufficient infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;*
 - c. *Effect on nearby property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood*
 - d. *Effect on development of surrounding property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.*
 - e. *Effect on general welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.*
 - f. *Conformance with codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this title, except as may be varied pursuant to a Special Use for Planned Unit Development.*
4. *The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City; and*
5. *The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.*

Responses to all criteria need not be in the affirmative to recommend approval of the PUD Amendment. The applicant has provided responses to the Criteria for PUDs as part of the application materials.

There are no findings of fact pertaining to PUD Preliminary Plans. Approval is subject to meeting the applicable standards of the Zoning Ordinance and PUD Ordinance, accounting for the requested PUD deviations.

Recommendation Options:

- a. **Recommend approval of the application for Special Use (PUD Amendment) and PUD Preliminary Plan** – Plan Commission may add additional conditions if deemed necessary by the Plan Commission to meet the PUD finding. A recommendation for approval of the PUD Preliminary Plan should be conditional upon resolution of staff comments prior to City Council action.

OR

- b. **Recommend denial of the application for Special Use (PUD Amendment) and PUD Preliminary Plan** – Plan Commission must substantiate how the PUD finding is not being met in order to recommend denial.

VI. ATTACHMENTS

- Applications for Special Use & PUD Preliminary Plan; received 2/2/2024
- Plans



SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>Fox Haven Square - Stuart's Crossing PUD</u>
Project Number:	<u>2023 -PR- 011</u>
Cityview Project Number:	<u>PLSU20240005</u>



- File this application to request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have a question please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements prior to establishing a public hearing date.

1. Property Information:	Location:	502 N Kirk Rd	
	Parcel Number (s):	09-25-178-002;09-25-178-003	
	Proposed Name:	Fox Haven Square	
2. Applicant Information:	Name:	Greco Investment Management LLC	Phone: 630-577-7156
	Address:	1307 Schiferl Rd Bartlett, IL 60103	Email: pat@gsifamily.com
3. Record Owner Information:	Name:	SVAP III Stuart's Crossing Small Shops LLC; SVAP III Stuart's Crossing Vacant Lots LLC	Phone: 323-289-6342
	Address:	302 Datura Street, Suite 100 West Palm Beach, FL 33401	Email: pwei@sterlingorganization.com

4. Identify the Type of Application:

- Special Use for Planned Unit Development - PUD Name:** Stuart's Crossing
 - New PUD
 - Amendment to existing PUD- Ordinance #: 1997-M-115
 - PUD Preliminary Plan filed concurrently

- Other Special Use (from list in the Zoning Ordinance):**
 - Newly established Special Use
 - Amendment to an existing Special Use Ordinance #:

5. Information Regarding Special Use:

Comprehensive Plan designation of the property: Corridor/Regional Commercial

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? BC Community Business District

What is the property currently used for? Vacant

If the proposed Special Use is approved, what improvements or construction are planned?

Construction of 16,150-sf, 19,500-sf, 14,250-sf, and 20,000-sf commercial retail buildings with parking lot and outdoor plaza and outdoor seating for community use.

6. For Special Use Amendments only:

Why is the proposed change necessary?

Proposed revisions are required due to the concept to maximize use of property and creating outdoor space for community use.

What are the proposed amendments? (Attach proposed language if necessary)

Building Coverage: Requesting amendment to deviate from BR standard of 30% to 22% with a FAR of 0.22; Kirk Road Parking/Paving Setback: Requesting amendment to revise PUD standard of 50 ft to 40 ft. Parking Spaces: Requesting amendment to allow for less required spaces per floor area. Variation to off-street parking requirements. ; Signage: updates as provided in applicaiton design packet.; Variations to required building foundation landscaping ; variations to requirements of the Design Review Standards

Note for existing buildings: If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

7. Required Attachments:

*If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.
Provide 1 copy of each required item, unless otherwise noted.*

- APPLICATION FEE:** Special Use for PUD: **\$1,000**
All other Special Use requests: \$750
- REIMBURSEMENT OF FEES AGREEMENT:** An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT:** Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- PROOF OF OWNERSHIP:** a) A current title policy report; or
b) A deed and a current title search

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- OWNERSHIP DISCLOSURE:** Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.
- LETTER OF AUTHORIZATION:** If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- LEGAL DESCRIPTION:** For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- PLAT OF SURVEY:** A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- FINDINGS OF FACT:** Fill out the attached "Criteria for Planned Unit Developments (PUDs)" form for any PUD application and the "Findings of Fact – Special Use" form for all other Special Use applications.
- LIST OF PROPERTY OWNERS WITHIN 250 FT.:** Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized. Property ownership information may be obtained using Kane County's interactive GIS mapping tool: http://gistech.countyofkane.org/gisims/kanemap/kanegis4_AGOx.html
- SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION:** As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: <http://www.kanedupageswcd.org/>

ENDANGERED SPECIES REPORT: As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>

TRAFFIC STUDY: If applicable. Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

PLANS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

Site Plan or plans shall show the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line
21. Provision of handicapped parking spaces
22. Dimensions of handicapped parking spaces
23. Depressed ramps available to handicapped parking spaces
24. Location, dimensions and elevations of freestanding signs
25. Location and elevations of trash enclosures
26. Provision for required screening, if applicable
27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

(Note- For a Special Use for PUD, submit PUD Preliminary Plan Application In lieu of Site Plan)

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


[Signature] 2-1-24
Record Owner Applicant Authorized Agent Date
[Signature] 2/2/24
Applicant Authorized Agent Date
RECORD OWNER

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**


STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, Pat Greco, being first duly sworn on oath depose and say that I am
Manager of GSI Family Greco Investment Management LLC, an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

- | | |
|---------------------------|-------|
| <u>Greco PG Five LLC</u> | _____ |
| <u>Greco EG Three LLC</u> | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

By: , Manager

Subscribed and Sworn before me this 25th day of
January, 2024



Notary Public



OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)

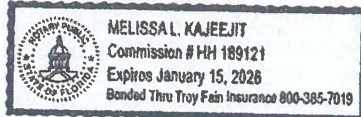
Florida ^{MD}
STATE OF ILLINOIS)
Palm Beach ^{MD}) SS.
KANE COUNTY)

I, Brian Fried, being first duly sworn on oath depose and say that I am
Manager of SVAP III stuart's Crossing, LLC, SVAP III stuart's Crossing Small Shops, LLC, SVAP III stuart's Crossing Vacant lot, LLC, an Delaware ~~Illinois~~ Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

Sterling Value Add Investments III, LLC, a Delaware
limited liability company, its sole Member

By: [Signature], Manager

Subscribed and Sworn before me this 1st day of
February, 20 24.



[Signature]
Notary Public

**SVAP III Stuarts Crossing, LLC
SVAP III Stuarts Crossing Small Shops, LLC
SVAP III Stuarts Crossing Vacant Lot, LLC
c/o Sterling Retail Services, Inc.**

February 1, 2024

To Whom It May Concern:

On behalf of the ownership, this letter shall serve as an authorization for Greco Investment Management, LLC and its affiliates to file for Special Use and PUD Preliminary Plan approval with the City of St. Charles for the subject parcels (tax ID #09-25-178-002 and #09-25-178-003).

Sincerely,



Name: Jordan Fried
Title: Vice President

302 Datura Street, Suite 100, West Palm Beach, Florida 33401

Telephone: (561) 835-1810

WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT

May 1, 2024

Ms. Ellen Johnson

City of St. Charles - Community Development Department
Two East Main Street
St. Charles, IL 60174
ejohnson@stcharlesil.gov

Application for Completeness Review for Fox Haven Square

Dear Ms. Johnson,

We are in receipt of your email review dated April 30th, 2024 which highlighted items needed to amend the previously submitted application for the Special Use and PUD Amendment for the Fox Haven Square project within the Stuart's Crossing PUD in St. Charles, IL. This letter is intended to outline the following requested variances to the planning and zoning standards:

1. We are requesting to reduce the parking setback along Kirk Rd. to under 50 ft. According to the staff report dated September 6th, 2023, a 50 ft. setback is consistent with the Jewel property, a reduced setback could be appropriate if the setback is sufficiently landscaped.
2. The proposed number of parking spaces has been reduced to a total below the current PUD parking requirement. The required parking is being satisfied by the shared parking between adjacent uses. Current parking codes allow Shared Parking calculations based on hours of operations.
3. Building façade mounted signage and new ground sign conceptual designs are included
4. We are requesting a variance on PUD required building foundation landscaping however have added to other areas of the site to offset these totals.
5. We request a variance to the Design Review Standards for Building #4 elevations.

We are very excited to bring this fantastic vision to fruition in St. Charles. If you have any questions or comments we will happily be available to discuss further.

Best regards,

Ware Malcomb



Jason Golub, AIA
Regional Director

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

Use this form for PUD or PUD Amendment applications

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether the proposed Planned Unit Development is in the public interest. As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

PUD Name: Stuarts Crossing/Fox Haven Square

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The site improvements are proposed on vacant land which is under utilized in a highly commercial area of the City. These buildings and improvements will attract additional businesses and serve the City and surrounding communities. There is a proposed outdoor plaza and seating area which will promote social interaction. In addition, the increased consumer traffic will improve the accessibility to existing businesses in the area, bringing in increased activity and revenue to the City.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

The amendment to the PUD will provide additional community amenities in the form of an outdoor plaza/seating area which will promote increased social interaction. Proposed landscaping will provide natural feels and proposed permeable pavers within the parking lot promote positive stormwater management techniques.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):**

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The site is surrounded by existing commercial retail which is currently serving the public. The improvements will increase public usage and convenience.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary utilities have been, or are being, provided.

The project site was originally part of the Stuart's Crossing PUD, which provided detention and infrastructure for future development.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The site is surrounded by existing commercial retail. The proposed commercial buildings will not impact the surrounding businesses in a negative way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The site is surrounded by existing commercial retail, therefore will not impede on normal and orderly development of the surrounding property

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The site is within an existing commercial area, therefore will not change the demographics of the surrounding businesses and will not be detrimental to the public

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The development will conform to existing and approved provisions as applicable to the existing PUD and the City codes.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed development will utilize vacant space to attract additional businesses which can be accessed by the City and surrounding communities. This will attract consumers and bring additional revenue to the City.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed commercial retail development is within an existing commercial area of the City, therefore will not impact the purpose and intent of the Comprehensive Plan.



PUD PRELIMINARY PLAN APPLICATION

For City Use
 Project Name: Fox Haven Square - Stuart's Crossing PUD
 Project Number: 2023 -PR- 011
 Cityview Project Number: PLPUD202400006

Received Date
RECEIVED
 FEB 02 2024
 City of St. Charles
 Community Development

- File this application to request approval of a PUD Preliminary Plan. Normally, this application is reviewed concurrently with an application for Special Use for PUD, unless a Special Use for PUD has previously been granted and no amendment is necessary.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will distribute the plans to other City departments for review when the application is complete.
- The PUD Preliminary Plan will be scheduled for Plan Commission review when staff has determined the plans are ready.

1. Property Information:	Location: 502 N Kirk Rd	
	Parcel Number (s): 09-25-178-002;09-25-178-003	
	Proposed PUD Name: Fox Haven Square	
2. Applicant Information:	Name: <u>Investmot</u> Greco Investment Management LLC	Phone: 630-577-7156
	Address: 1307 Schiferl Rd Bartlett, IL 60103	Email: pat@gsifamily.com
3. Record Owner Information:	Name: <u>SVAP III Stuart's Crossing Small Shops LLC</u> <u>SVAP III Stuart's Crossing Valant Lot LLC</u>	Phone: 323-289-6342
	Address: 302 Datura Street, Suite 100 West Palm Beach, FL 33401	Email: pwei@sterlingorganization.com

4. Identify the Type of Application:

- New proposed Planned Unit Development (PUD) – *Special Use Application to be filed concurrently*
- Existing Planned Unit Development (PUD)
 - PUD Amendment required for proposed plan – *Special Use Application to be filed concurrently*

Subdivision:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property is required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

5. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Submit 1 copy of each required item, unless otherwise noted.

- APPLICATION FEE: \$500
- REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.
- REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

- PROOF OF OWNERSHIP: a) A current title policy report; or
b) A deed and a current title search

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.
- LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- PLAT OF SURVEY: A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION: As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: <http://www.kanedupageswcd.org/>

ENDANGERED SPECIES REPORT: As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: <https://dnr2.illinois.gov/EcoPublic/>

STORMWATER MANAGEMENT: Written information as described in the Stormwater Management Requirements for Preliminary Plans (attached).

PUBLIC BENEFITS, DEPARTURES FROM CODE: A written statement describing how the PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations (departures) from the requirements of Title 16 "Subdivisions and Land Improvement" and Title 17 "Zoning" and provide a rationale for each requested deviation.

CONSTRUCTION SCHEDULE: Indicate the following:

- Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the Plat of Subdivision and through supporting material.
- Approximate dates for beginning and completion of each phase.

PARK AND SCHOOL LAND/CASH WORKSHEETS: *For residential developments only.* Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.

INCLUSIONARY HOUSING WORKSHEET: *For residential developments only.* Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.

PLANS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

PRELIMINARY PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST: If the PUD Preliminary Plan involves the subdivision of land, submit a Preliminary Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Subdivision Plat Drawing Requirements Checklist (attached).

PRELIMINARY ENGINEERING PLANS / DRAWING REQUIREMENTS CHECKLIST: Plans shall include the following information. Also submit a completed Drawing Requirements Checklist- Preliminary Engineering Plans.

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures

5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

ARCHITECTURAL PLANS: Architectural plans and data for all principal buildings with sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed-use buildings, total floor area and total building coverage of each building.

TREE PRESERVATION PLAN: When required, in accordance with Ch. 8.30 of the St. Charles Municipal Code (see attached "Tree Preservation Requirements for Preliminary Plans". This information may be included as part of the Landscape Plan set.


LANDSCAPE PLAN: Landscape Plan showing the following information:

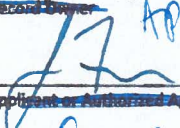
- Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
- Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
- Accurate property boundary lines
- Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
- Site area proposed to be landscaped in square feet and as a percentage of the total site area
- Percent of landscaped area provided as per code requirement
- Dimensions of landscape islands
- Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
- Location and identification of all planting beds and plant materials
- Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
- Landscaping of ground signs and screening of dumpsters and other equipment

SKETCH PLAN FOR LATER PHASES OF PUD: For phased PUDs only, submit a plan that shows, at minimum, the following:

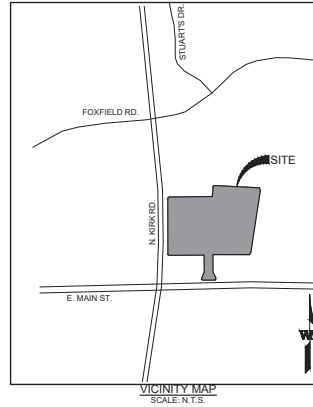
- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.


 Applicant/Authorized Agent 2-1-24 Date


 Record Owner 2/2/24 Date

PRELIMINARY ENGINEERING PLANS
FOX HAVEN SQUARE
 502 N. KIRK RD.
 ST. CHARLES, IL 60174



SHEET INDEX

SHEET NUMBER	Sheet Description
1	C1.0 COVER SHEET
2	C1.1 GENERAL NOTES
3	C2.0 EXISTING CONDITIONS & DEMOLITION
4	C3.0 PRELIMINARY SITE PLAN
5	C4.0 PRELIMINARY GRADING PLAN
6	C5.0 PRELIMINARY EROSION CONTROL
7	C6.0 PRELIMINARY DRAINAGE PLAN
8	C7.0 PRELIMINARY UTILITY PLAN

AGENCY CONTACT LIST

OWNER/DEVELOPER
 CSI FAMILY INVESTMENTS
 OF AZ, LLC
 1307 SCHIFFER ROAD
 BARTLETT, IL 60103
 630.577.7156
 CONTACT: EDDIE GRECO

CIVIL ENGINEER
 WARE MALCOMB
 1315 22ND ST #410
 OAK BROOK, IL 60523
 630.218.0063
 CONTACT: JON GRZYWA

ARCHITECT
 WARE MALCOMB
 1315 22ND ST #410
 OAK BROOK, IL 60523
 630.218.0063

PROJECT BENCHMARK

TM# #1	TM# #2
NORTHING: 19144551.22'	NORTHING: 1914454.48'
EASTING: 1000550.93'	EASTING: 1000115.86'
ELEVATION: 782.95'	ELEVATION: 782.82'
CF: 0.99994308	CF: 0.99994308

VALUES SHOWN HEREON ARE FROM NGS OPUS SOLUTION REPORTS GENERATED FROM STATIC GPS OBSERVATIONS, PERFORMED ON BOTH TEMPORARY BENCHMARKS.
 DATE OF OBSERVATION: 10/24/2023
 HORIZONTAL DATUM: SP83 (1201 IL E)
 VERTICAL DATUM: NAVD83 (GEOID18)

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES (1201 IL E), AS DETAILED IN NGS OPUS SOLUTION REPORTS FOR TM# #1 & TM# #2.

LEGAL DESCRIPTION

THE FOLLOWING LOT LOCATED IN ST. CHARLES, KANE COUNTY, ILLINOIS:

PARCEL 1:
 LOT 4 IN STUART'S CROSSING RETAIL, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED SEPTEMBER 15, 1998 AS DOCUMENT 98K083752, IN KANE COUNTY, ILLINOIS.

PARCEL 2:
 RIGHTS FOR BENEFIT OF PARCEL 1 CREATED BY AND GRANTED IN THE CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT ("REA") RECORDED SEPTEMBER 11, 1998 AS DOCUMENT 98K083752 FOR THE PURPOSE OF (1) PARKING OF PASSENGER VEHICLES (2) VEHICULAR AND PEDESTRIAN PASSAGE (3) CONNECTION WITH AND USE OF WATER, SANITARY AND STORM WATER, TELEPHONE, ELECTRIC LINES, CONDUITS, TRANSMISSION AND OTHER SIMILAR UTILITY FACILITIES AND (4) DRAINAGE OF STORM WATER.

SURVEY INFORMATION

THESE PLANS AND THE ABOVE INFORMATION ARE BASED ON A PRELIMINARY SURVEY BY AMERICAN SURVEYING & MAPPING, INC. PROVIDED TO WARE MALCOMB ON 11/02/2023.



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

ABBREVIATIONS

AB	AGGREGATE BASE	OC	ON CENTER
AC	ASPHALT CONCRETE	PB	PULL BOX
BFV	BACK FLOW VALVE	PCC	PORTLAND CEMENT CONCRETE
CF	CURB FACE	PL&E	PROPERTY LINE
CL&E	CENTERLINE	PVC	POLYVINYL CHLORIDE PIPE
CO	CLEANOUT	R	RADIUS
DF	DEEPENED FOOTING	(RAD)	RADIAL BEARING
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EG	EXISTING GRADE	R/W ROW	RIGHT OF WAY
EL	ELEVATION	SD/STRM	STORM DRAIN
EOA	EDGE OF ASPHALT	STA	STATION
ESMT	EASEMENT	SS/SAN	SANITARY SEWER
EX	EXISTING	TG	TOP OF GRATE
FDC	FIRE DEPARTMENT CONNECTION	TW	SIDE WALK
FES	FLARED END SECTION	TBC	TOP BACK OF CURB
FG	FINISHED GRADE	TI	TOP FACE OF CURB
FH	FIRE HYDRANT	TC	TOP OF CURB
FFFFE	FINISH FLOOR ELEVATION	TOP	TOP OF PIPE
FG	FINISHED GRADE	TOW	TOP OF WALL
FGW	FINISH GRADE AT WALL	TYP.	TYPICAL
FL&E	FLOW LINE	VIF	VERIFY IN FIELD
FS	FINISHED SURFACE	WM	WATER METER
GB	GRADE BREAK	WSEL	WATER SURFACE ELEVATION
GBPT	GRADE AT BOTTOM OF WALL	WV	WATER VALVE
GTW	GRADE AT TOP OF WALL		
GM	GAS METER		
GV	GAS VALVE		
HP	HIGH POINT		
LP	LOW POINT		
INV	INVERT		
LF	LINEAR FEET		
ME	MATCH EXISTING		
MH	MANHOLE		
NG	NATURAL GROUND		

WARE MALCOMB
 LEADING DESIGN FOR COMMERCIAL REAL ESTATE

13 E. 22nd Street
 Suite 410
 Oak Brook, IL 60023
 P 630.218.0063
 waremalcomb.com

FOR AND ON BEHALF
 OF WARE MALCOMB

FOX HAVEN SQUARE
PRELIMINARY ENGINEERING
 502 N KIRK RD.
 ST. CHARLES, IL 60174

COVER SHEET

NO.	DATE	REVISIONS

JOB NO.:	CH23-0124
PA / PM:	J. GRZYWA
DESIGNED:	T. SNOW
DATE:	1-19-24
PLOT DATE:	04/18/24

SHEET
C1.0
 Sheet 1 of 8



131E 29th street
suite 410
Oak Brook, IL 60023
p 630.218.0063
www.waremalcomb.com

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GENERAL NOTES table with columns: NO., DATE, REVISIONS, JOB NO., PA / PM, DESIGNED, DATE, PLOT DATE, SHEET C1.1, Sheet 2 of 8

WM NOTES: SANITARY SEWER TESTING NOTES

- 1. THE MAXIMUM ALLOWABLE INFILTRATION SHALL BE 100 GALLONS PER FIVE FEET PER INCH DIAMETER OF PIPE... THE SANITARY SEWER SHALL BE TESTED BY THE CONTRACTOR AND A VIDEO TAP RECORD SHALL BE MADE AND TURNED OVER TO THE MUNICIPALITY AFTER CONSTRUCTION BUT PRIOR TO PLACING THE SANITARY SEWER INTO SERVICE.

WM NOTES: WATER DISINFECTION NOTES

AFTER THE WATER MAIN INSTALLATION HAS BEEN SATISFACTORILY COMPLETED, INCLUDING PRESSURE AND LEAKAGE TESTING, THE CONTRACTOR SHALL FURNISH EQUIPMENT AND CHEMICALS NECESSARY TO PROPERLY DISINFECT THE WORK IN ACCORDANCE WITH THE LATEST REVISION OF AWWA STANDARD C901...

WM NOTES: WATER MAIN TESTING NOTES

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION... 2. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE CLASS 52 WITH EITHER MECHANICAL OR PUSH-JOIN JOINTS AND SHALL CONFORM TO ANSI A21.51... 3. ALL FITTINGS SHALL BE COMPACT DUCTILE IRON AND SHALL CONFORM TO ANSIAWWA FITTINGS SHALL BE U.L. LISTED CLASS 350, TYLER, GRIFMOR OR APPROVED EQUIVA.

CITY OF ST. CHARLES NOTES

- 1. A CURRENT COLOR VIDEO RECORD AND A WRITTEN TRANSCRIPTION OF THE INTERNAL INSPECTION OF THE NEWLY CONSTRUCTED STORM AND SANITARY SEWER SYSTEMS SHALL BE SUBMITTED PRIOR TO REFUNDING OF SITE IMPROVEMENT ESCROW RETENTION MONIES BY THE CITY OF ST. CHARLES...

WM NOTES: SITE GRADING NOTES

- 1. ALL SITE IMPROVEMENTS, INCLUDING STORM WATER DRAINAGE (BUT NOT WATERSHEDS AND SANITARY SEWERS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION" ADOPTED JAN. 1, 2022 WITH ALL SUBSEQUENT SUPPLEMENTS, AND LOCAL JURISDICTIONAL REQUIREMENTS... 2. EARTHWORK AND EMBANKMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS" ADOPTED JANUARY 1, 2022 WITH ALL SUBSEQUENT SUPPLEMENTS...

WM NOTES: WATER MAIN CONSTRUCTION NOTES

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, THE NOTES AND ON THE PLANS, AND IN ACCORDANCE WITH THE ORDINANCES AND ORDINANCES OF THE LOCAL JURISDICTION HAVING AUTHORITY... 2. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE CLASS 52 WITH EITHER MECHANICAL, OR PUSH-JOIN JOINTS AND SHALL CONFORM TO ANSI A21.51, AWWA C151 AND ANSI A21.11, AWWA C111...

WM NOTES: SANITARY SEWER CONSTRUCTION NOTES

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, AND REVISIONS THERETO, THE NOTES AND ON THE PLANS, AND IN ACCORDANCE WITH CODES AND ORDINANCES OF THE AUTHORITY HAVING JURISDICTION... 2. THE SANITARY SEWER AND SERVICE SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE (PVC) PIPE IN ACCORDANCE WITH ASTM D-3034 FOR PIPE AND ASTM D-3212 FOR JOINTS FOR PIPE DIAMETERS FROM 6" TO 15" AND FOR STANDARD DIAMETERS FROM 18" OR DUCTILE IRON PIPE CLASS 52 WITH EITHER MECHANICAL, OR PUSH-JOIN JOINTS AND SHALL CONFORM TO ANSI A21.51, AWWA C151 AND ANSI A21.11, AWWA C111...

WM NOTES: DEFLECTION TESTING FOR FLEXIBLE THERMOPLASTIC PIPE NOTES

- 1. ALL PIPELINE SHALL BE TESTED FOR EXCESS DEFLECTION BY PULLING A "GO - NO GO" MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE... 2. WHERE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING LIMITS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND... 3. SAMPLING SHALL BE PERFORMED ON ALL SEWER PIPELINE BY THE ENGINEER...

WM NOTES: PAVEMENT & CONCRETE CONSTRUCTION NOTES

- 1. ALL SITE IMPROVEMENTS, INCLUDING STORM WATER DRAINAGE (BUT NOT WATER MAIN AND SANITARY SEWERS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION" ADOPTED JAN. 1, 2022 WITH ALL SUBSEQUENT SUPPLEMENTS, AND LOCAL JURISDICTIONAL REQUIREMENTS... 2. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATION BEGINS... 3. ALL CURBS CONSTRUCTED OR REPLACED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #4 REBAR FOR A LENGTH OF 2' FEET CENTERED OVER THE TRENCH...

WM NOTES: STORM SEWER CONSTRUCTION NOTES

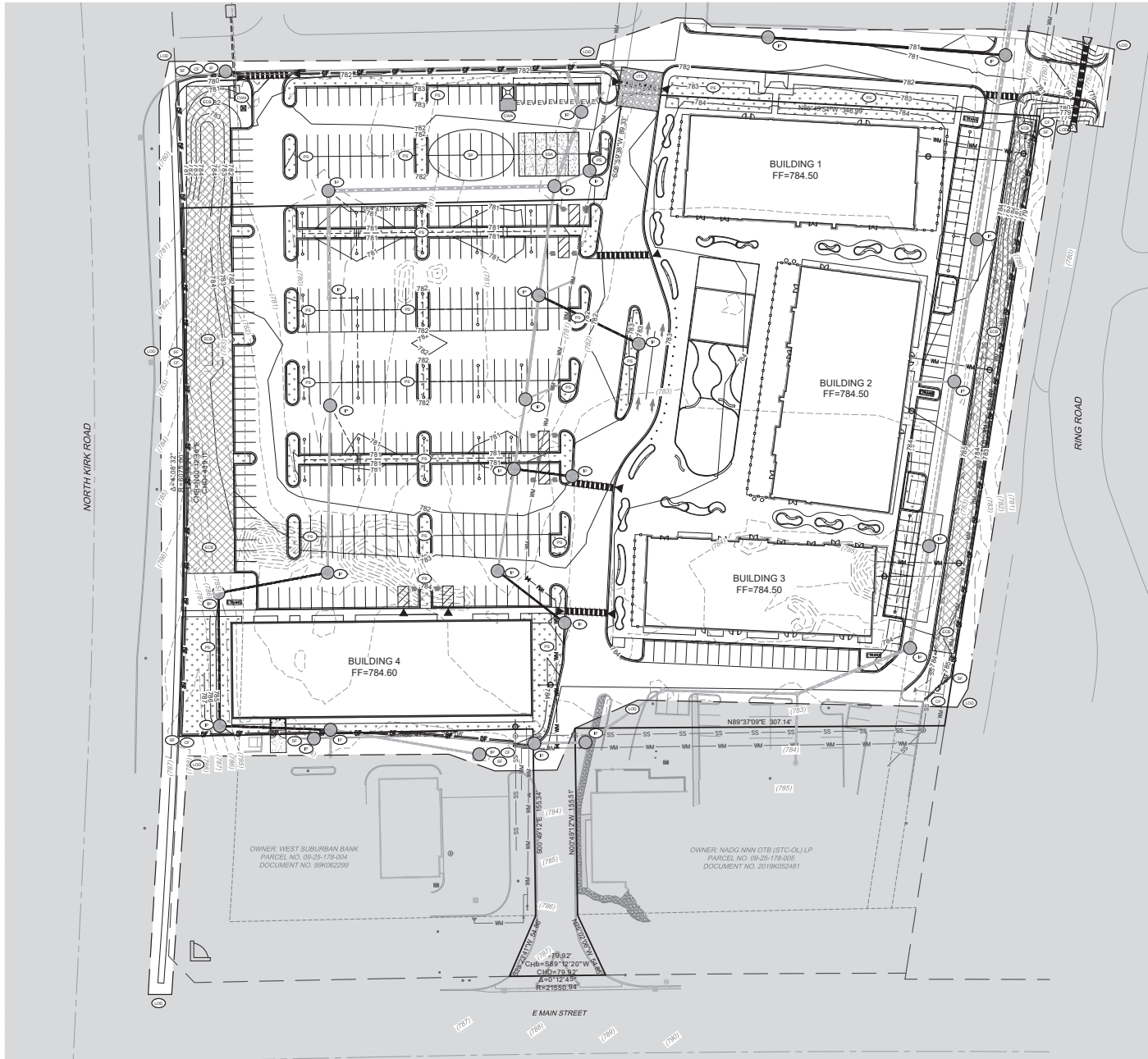
- 1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, ADOPTED JAN. 1, 2022, AND REVISIONS THERETO, THE NOTES IN THE PLANS, AND IN ACCORDANCE WITH THE ORDINANCES OF THE AUTHORITY HAVING JURISDICTION... 2. ALL STORM SEWERS 12" AND 18" SHALL BE REINFORCED CONCRETE PIPE (RCP), CONFORMING TO ASTM C-76, CLASS V, WITH JOINTS CONFORMING TO ASTM C-443 OR HIGH DENSITY POLYETHYLENE (HDPE) CONFORMING TO ASTM F2308 WITH JOINTS CONFORMING TO ASTM F477...

WM NOTES: GENERAL NOTES

- 1. ELEVATIONS ARE U.S.G.S DATUM... 2. DO NOT SCALE DRAWINGS... 3. THE CITY OF ST. CHARLES STANDARDS SUPERCEDE ALL OTHERS, THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 48 HOURS PRIOR ANY INSPECTION... 4. THE CONTRACTOR SHALL EXAMINE THE PLANS AND SPECIFICATIONS, VISIT THE SITE OF THE WORK, AND INFORM HIMSELF FULLY WITH THE WORK INVOLVED, GENERAL AND LOCAL CONDITIONS, ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND ALL OTHER PERTINENT ITEMS WHICH MAY AFFECT THE COST AND TIME OF COMPLETION OF THIS PROJECT BEFORE SUBMITTING A PROPOSAL... 5. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK... 6. THE ACCURACY AND COMPLETE INCLUSION OF THE LOCATIONS OF EXISTING UTILITIES IS NOT GUARANTEED... 7. OPEN EXCAVATION WITHIN THE PAVEMENT OR PARKWAY SHALL NOT BE LEFT OVER A WEEKEND, HOLIDAY, OR AFTER 3 P.M. ON THE DAY PRECEDING A WEEKEND HOLIDAY... 8. THE CONTRACTOR SHALL RESTORE ANY AREA DISTURBED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL USE... 9. ALL LOT IRONS DAMAGED OR REMOVED DURING CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY THE ENGINEER AND SAID COST OF REPLACEMENT SHALL BE PAID BY THE CONTRACTOR... 10. ALL SITE IMPROVEMENTS, INCLUDING STORM WATER DRAINAGE (BUT NOT WATER MAIN AND SANITARY SEWERS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION" ADOPTED JAN. 1, 2022 WITH ALL SUBSEQUENT SUPPLEMENTS... 11. ALL SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, UNLESS OTHERWISE NOTED... 12. ALL MANHOLES AND VALVE VAULTS SHALL HAVE "SANITARY" STORM OR "WATER" CAST INTO THE CAST IRON LIDS, AS APPROPRIATE... 13. ALL SEWERS AND WATER MAINS WHICH FALL WITHIN THREE FEET OF EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH AGGREGATE C-8 OR OTHER APPROVED GRANULAR MATERIAL... 14. "BAND-SEAL" CONNECTORS, OR EQUAL, SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIALS... 15. ALL NEW AND EXISTING STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION OF THE WORK... 16. WHENEVER A SEWER CROSSES UNDER A WATER MAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN SHALL BE 18 INCHES... 17. PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROSECUTION OF THE WORK SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR... 18. THE CONTRACTOR WILL HAVE IN HIS POSSESSION, ON THE JOB SITE, A COPY OF THE PLANS AND SPECIFICATIONS PRIOR TO BEGINNING WORK... 19. A LICENSED WELL DRILLER SHALL CAP ALL WELLS IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS...

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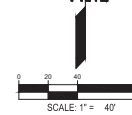


EROSION CONTROL BMP LEGEND

LOC	LIMITS OF CONSTRUCTION	
CF	CONSTRUCTION FENCE	
CWA	CONCRETE WASHOUT AREA	
ECB	EROSION CONTROL BLANKET	
IP	INLET PROTECTION	
MU	MULCHING & TEMPORARY SEEDING	
TS	PERMANENT SEEDING / LANDSCAPE (PER LANDSCAPE PLAN)	
SF	SILT FENCE	
SP	STOCKPILE MANAGEMENT	
SSA	STABILIZED STAGING AREA	
VTC	VEHICLE TRACKING CONTROL	

EROSION CONTROL NOTES

1. CONTRACTOR TO INSPECT AND MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION, INCLUDING INSTALLING, REPAIRING, REPLACING, RELOCATING, AND MODIFYING AS NECESSARY FOR CONSTRUCTION AND TO ENSURE THE SITE IS IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS.
2. ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THIS PLAN MAY BE NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
3. AREAS THAT ARE TO REMAIN IN A DISTURBED CONDITION FOR AN EXTENDED PERIOD SHALL BE TEMPORARILY SEEDED IN ACCORDANCE WITH STATE AND LOCAL CRITERIA.
4. REFER TO THE APPROVED LANDSCAPE PLAN FOR FINAL STABILIZATION INFORMATION. AREAS NOT STABILIZED BY PAVEMENT, BUILDING FOOTPRINT, PERMANENT LANDSCAPING, OR OTHER PERMANENT STABILIZATION SHALL BE PERMANENTLY SEEDED PER STATE AND LOCAL REQUIREMENTS.
5. CONTRACTOR TO KEEP PAVEMENT CLEAN OF MUD AND DEBRIS USING SWEEPING/SCRAPING EQUIPMENT TO BE STORED ON-SITE.
6. PROVIDE VEHICLE WASHOUT FOR VEHICLES ENTERING SITE LOCATED OUTSIDE OF IDOT RIGHT OF WAY.



WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

1318 29th Street
Suite 410
Oak Brook, IL 60023
p 630.218.0093
waremalcomb.com

FOR AND ON BEHALF OF WARE MALCOMB

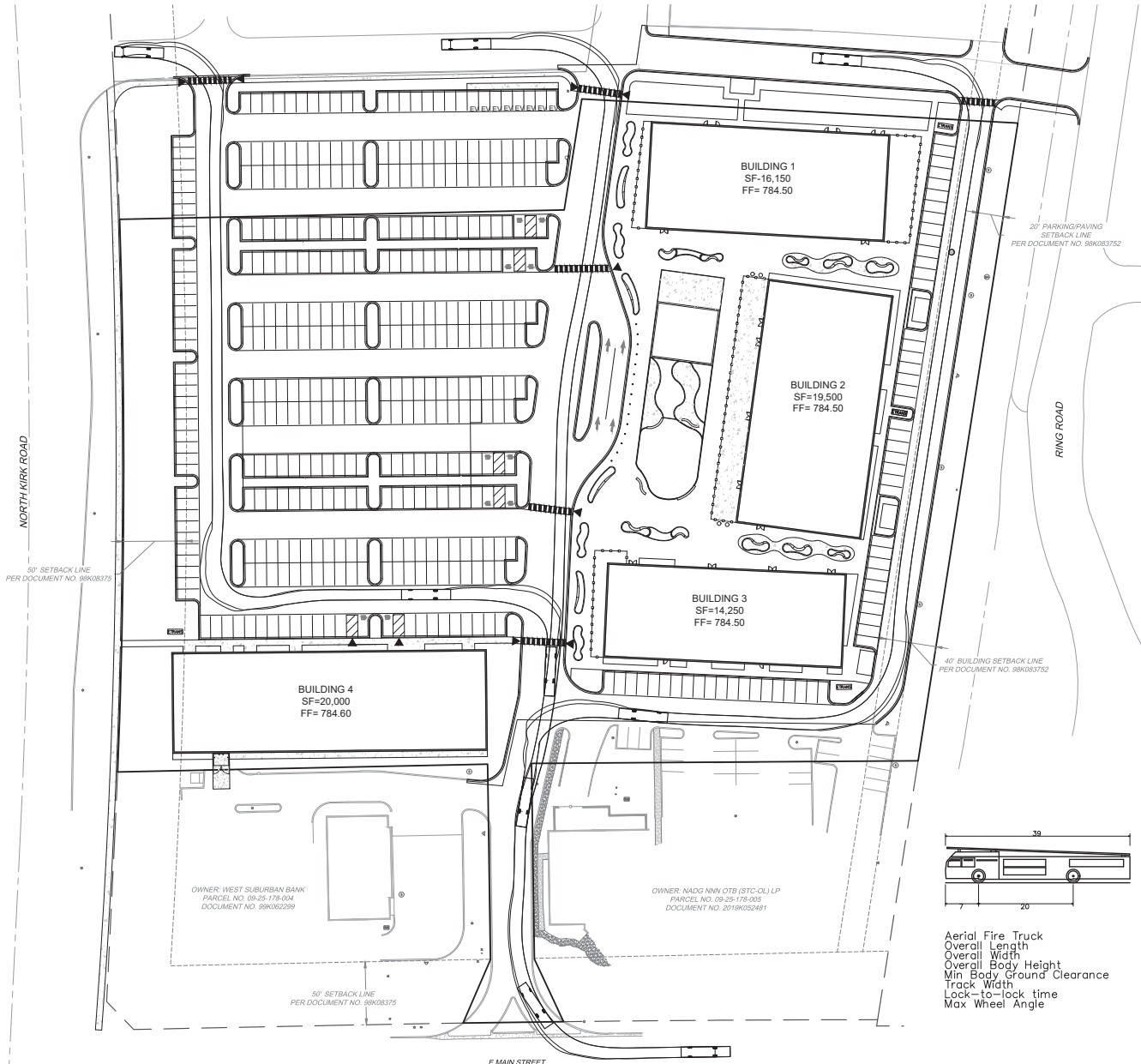
FOX HAVEN SQUARE
PRELIMINARY ENGINEERING
502 N KIRK RD.
ST. CHARLES, IL 60174

PRELIMINARY EROSION CONTROL & SEDIMENT CONTROL PLAN	
NO.	REVISIONS

JOB NO.: CH23-0124
PA / PM: J. GRZYWA
DESIGNED: T. SNOW
DATE: 1-19-24
PLOT DATE: 04/18/24

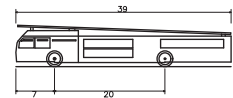
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Sheet 6 of 8

NOT FOR CONSTRUCTION

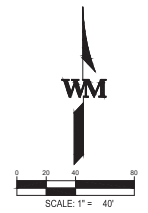


OWNER: WEST SUBURBAN BANK
 PARCEL NO. 09-25-178-004
 DOCUMENT NO. 98K032289

OWNER: MADG NNN OTB (STC-OL) LP
 PARCEL NO. 09-25-178-005
 DOCUMENT NO. 2018K032481



Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 7.500ft
 Overall Body Height 20.000ft
 Min Body Ground Clearance 7.500ft
 Track Width 16.700ft
 Lock-to-lock time 45.00s
 Max Wheel Angle 0.00°



WARE MALCOMB
 LEADING DESIGN FOR COMMERCIAL REAL ESTATE

1315 22nd Street
 Suite #10
 Chicago, IL 60623
 p 800.218.0063
 wwaremalcomb.com

FOR AND ON BEHALF
 OF WARE MALCOMB

FOX HAVEN SQUARE
 PRELIMINARY ENGINEERING
 502 N KIRK RD.
 ST. CHARLES, IL 60174

FIRE ACCESS & CIRCULATION PLAN

NO.	DATE	REMARKS

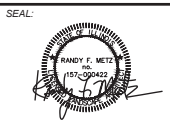
JOB NO.:	CHI23-0124
PA / PIR:	J. GRZYWA
DESIGNED:	T. SNOW
DATE:	1-19-24
PLOT DATE:	04/17/24

SHEET
1

REVISIONS	
1	St. Charles Review #1
2	
3	
4	
5	
6	
7	
8	
9	
10	

FOX HAVEN SQUARE

502 N. Kirk Road
St Charles, Illinois



METZ & COMPANY
LANDSCAPE ARCHITECTURE/ SITE PLANNING

826 East Maple Street
Lombard, Illinois 60148
PH: 630.561.5903
www.metz-company.com

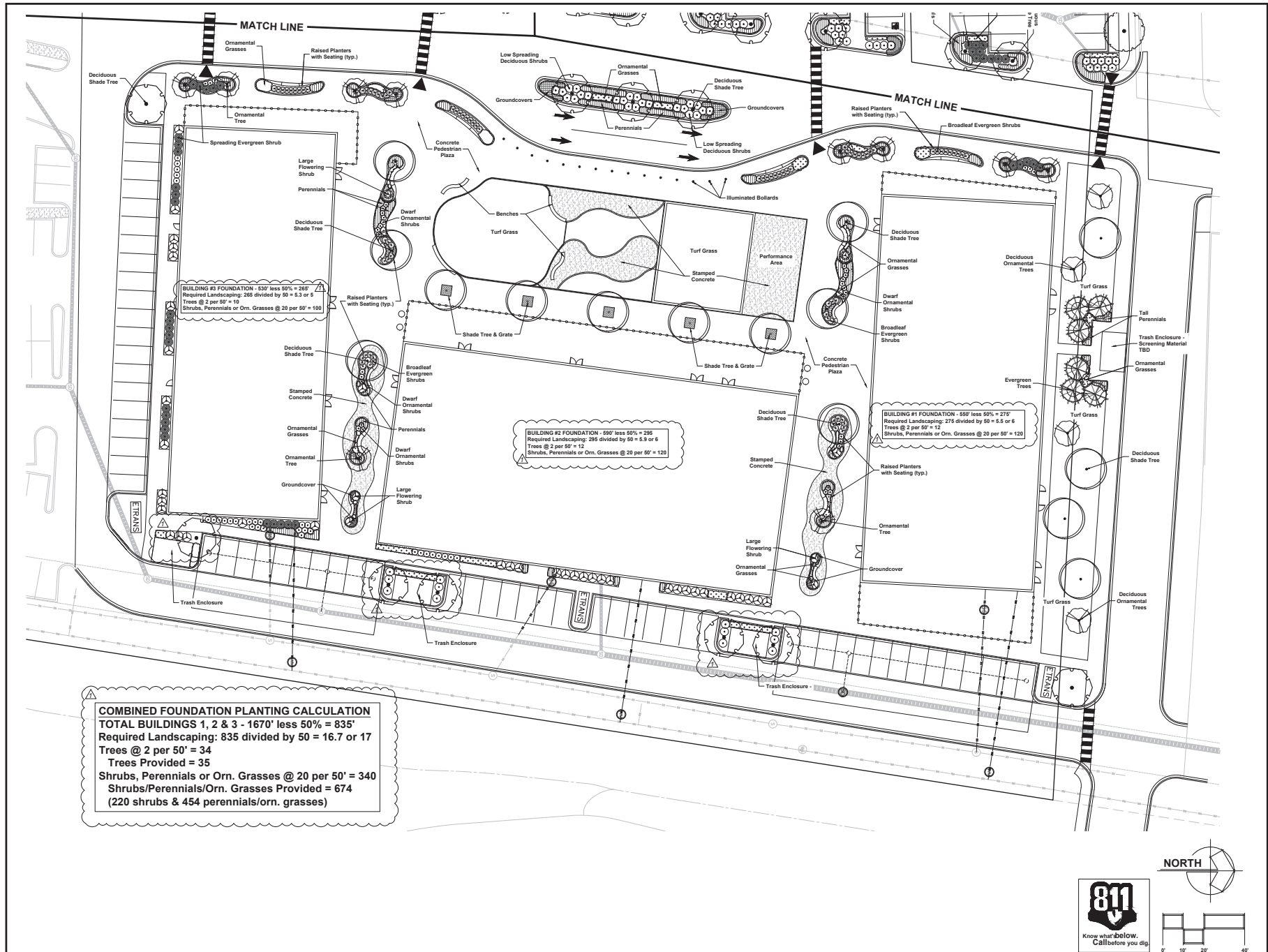
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**PRELIMINARY
LANDSCAPE
PLAN**

PROJECT NO.:
24-248

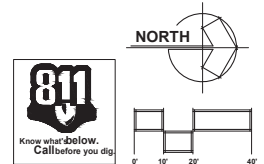
DATE: 1-19-2024
SCALE: 1"=20'

SHEET
L-3.0

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COMBINED FOUNDATION PLANTING CALCULATION
 TOTAL BUILDINGS 1, 2 & 3 - 1670' less 50% = 835'
 Required Landscaping: 835 divided by 50 = 16.7 or 17
 Trees @ 2 per 50' = 34
 Trees Provided = 35
 Shrubs, Perennials or Orn. Grasses @ 20 per 50' = 340
 Shrubs/Perennials/Orn. Grasses Provided = 674
 (220 shrubs & 454 perennials/orn. grasses)





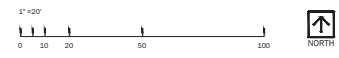
FOX HAVEN SQUARE

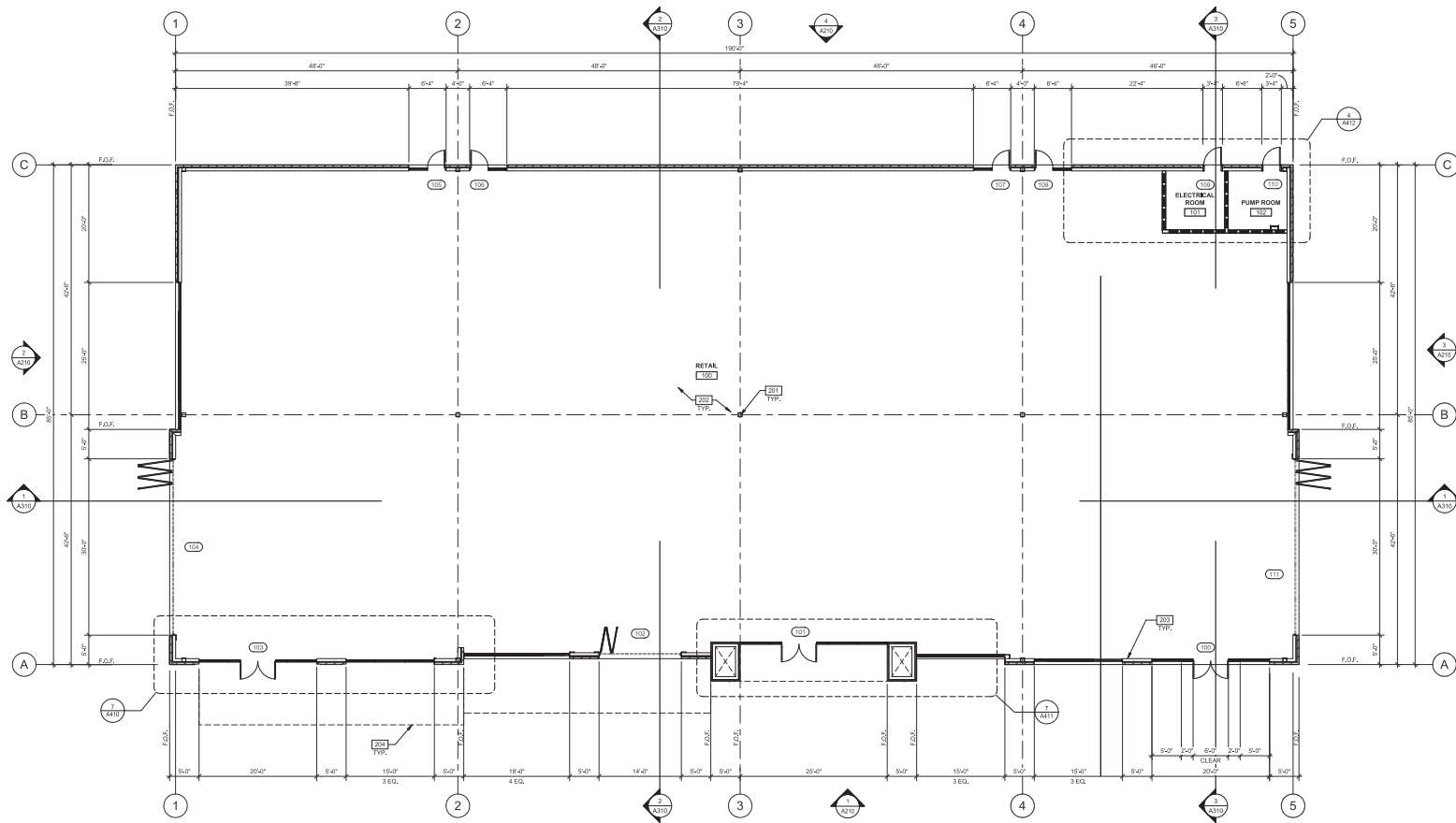
ST. CHARLES, ILLINOIS

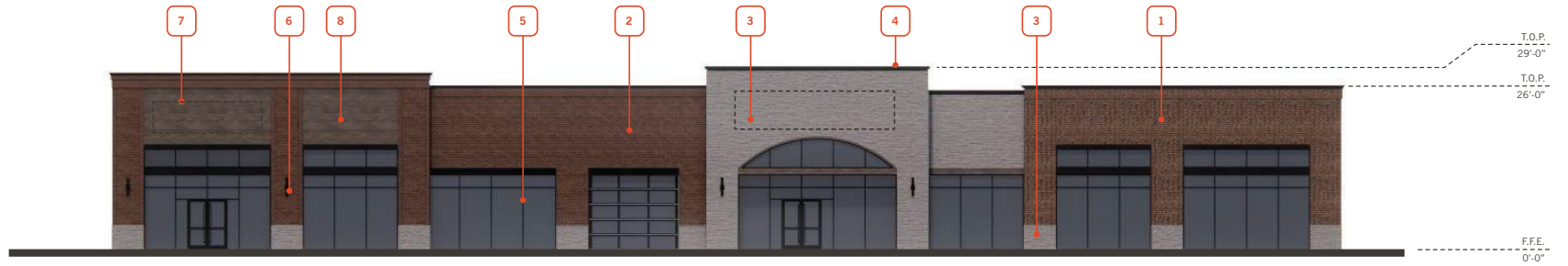
CHI23-0124-00
APRIL 25, 2024

WARE MALCOMB

STATE OF ILLINOIS DESIGN FIRM REGISTRATION NO. 194-004069



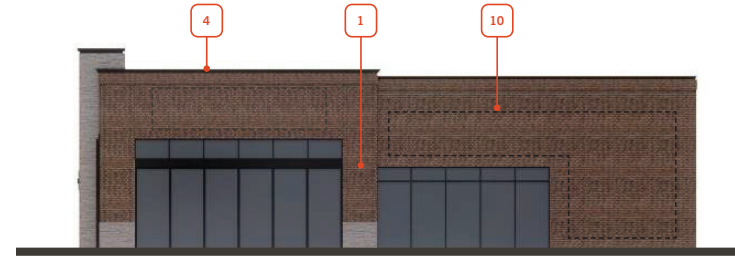




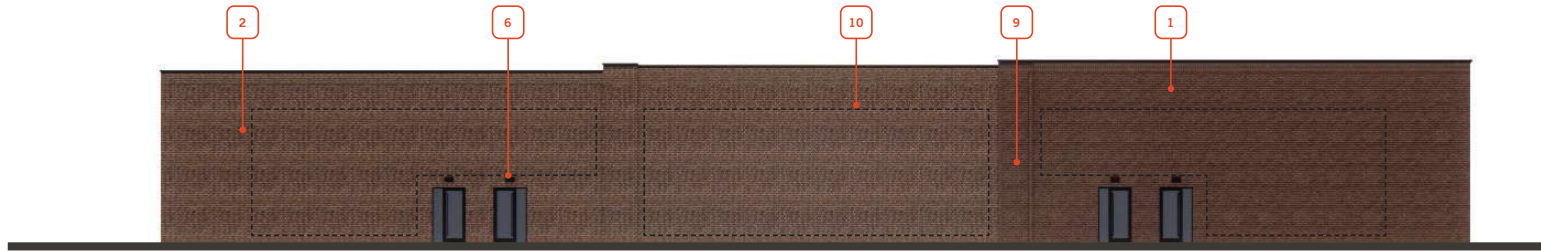
SOUTH



WEST



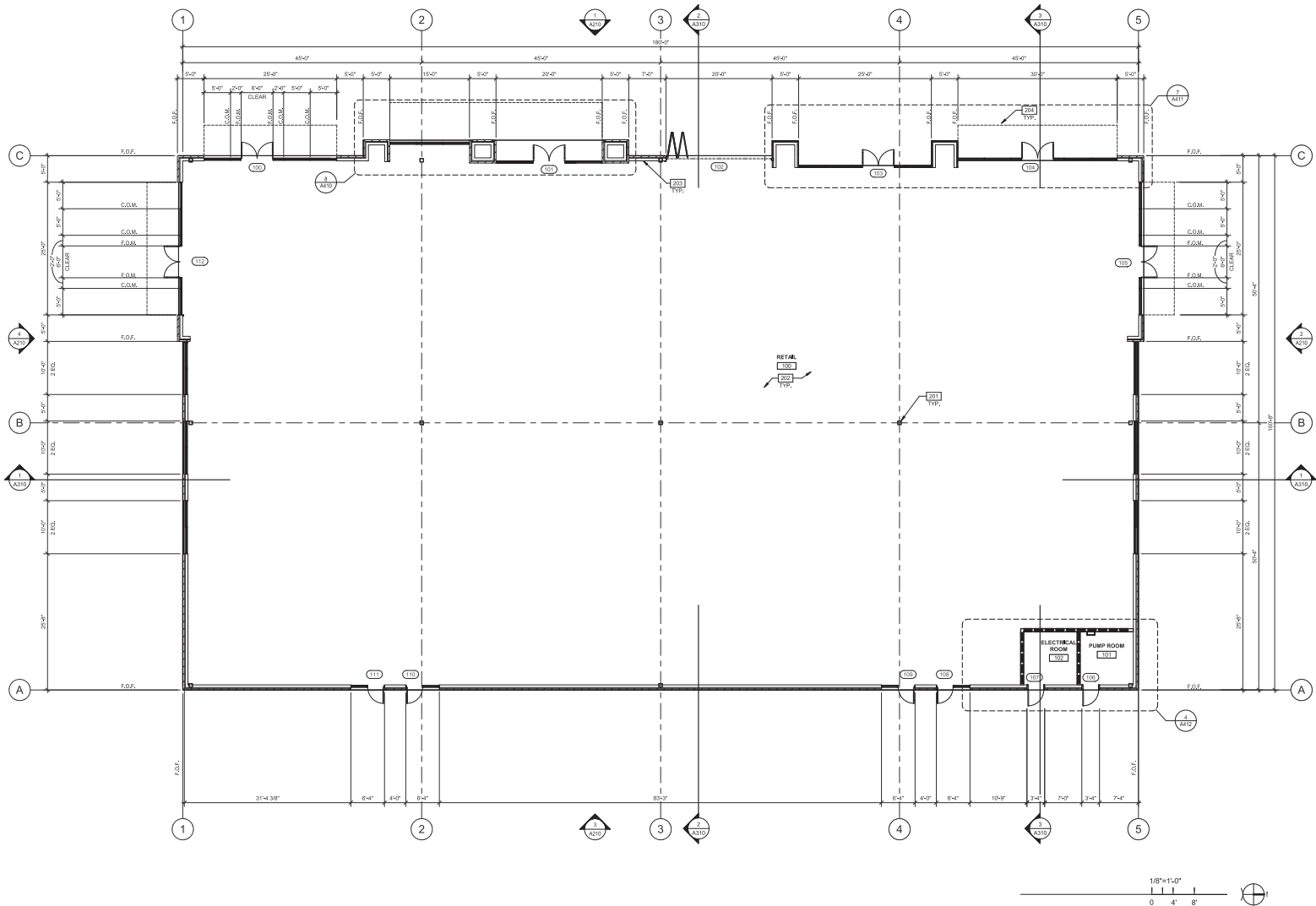
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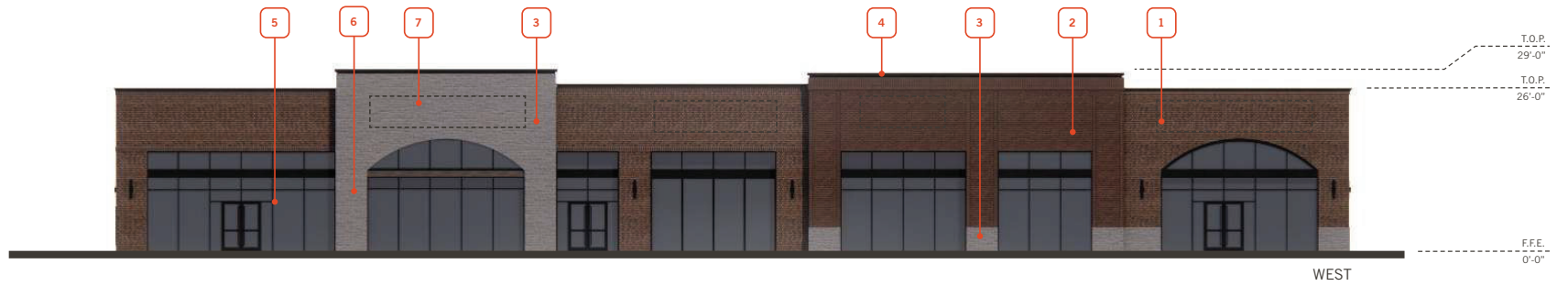


NORTH

KEYNOTES

- | | | | |
|-------------------------------|--|---|---|
| 1 BRICK - MIDDLE TONE | 4 ALUMINUM PRE-FINISHED COPING
DARK FINISH | 7 POTENTIAL LOCATION FOR SIGNAGE | 10 POTENTIAL LOCATION(S) FOR ART MURAL |
| 2 BRICK - DARK TONE | 5 ALUMINUM STOREFRONT
DARK FINISH | 8 WOOD VENEER ACCENT | |
| 3 STACKED STONE VENEER | 6 EXTERIOR LIGHTING | 9 BRICK EXPRESSION | |





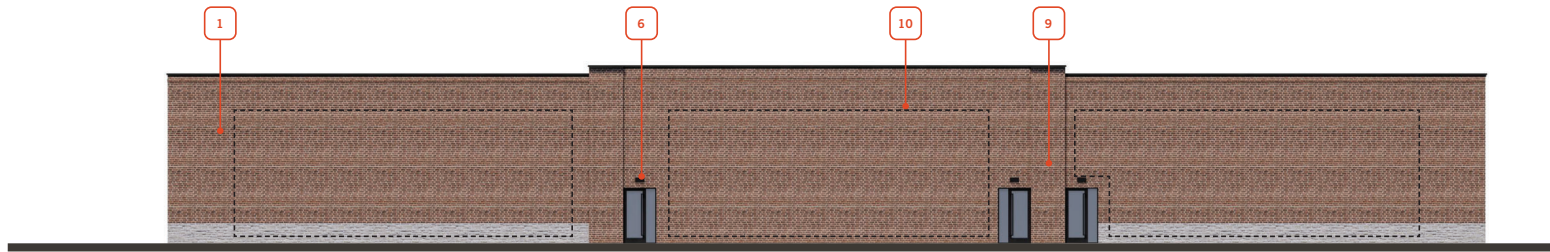
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NORTH



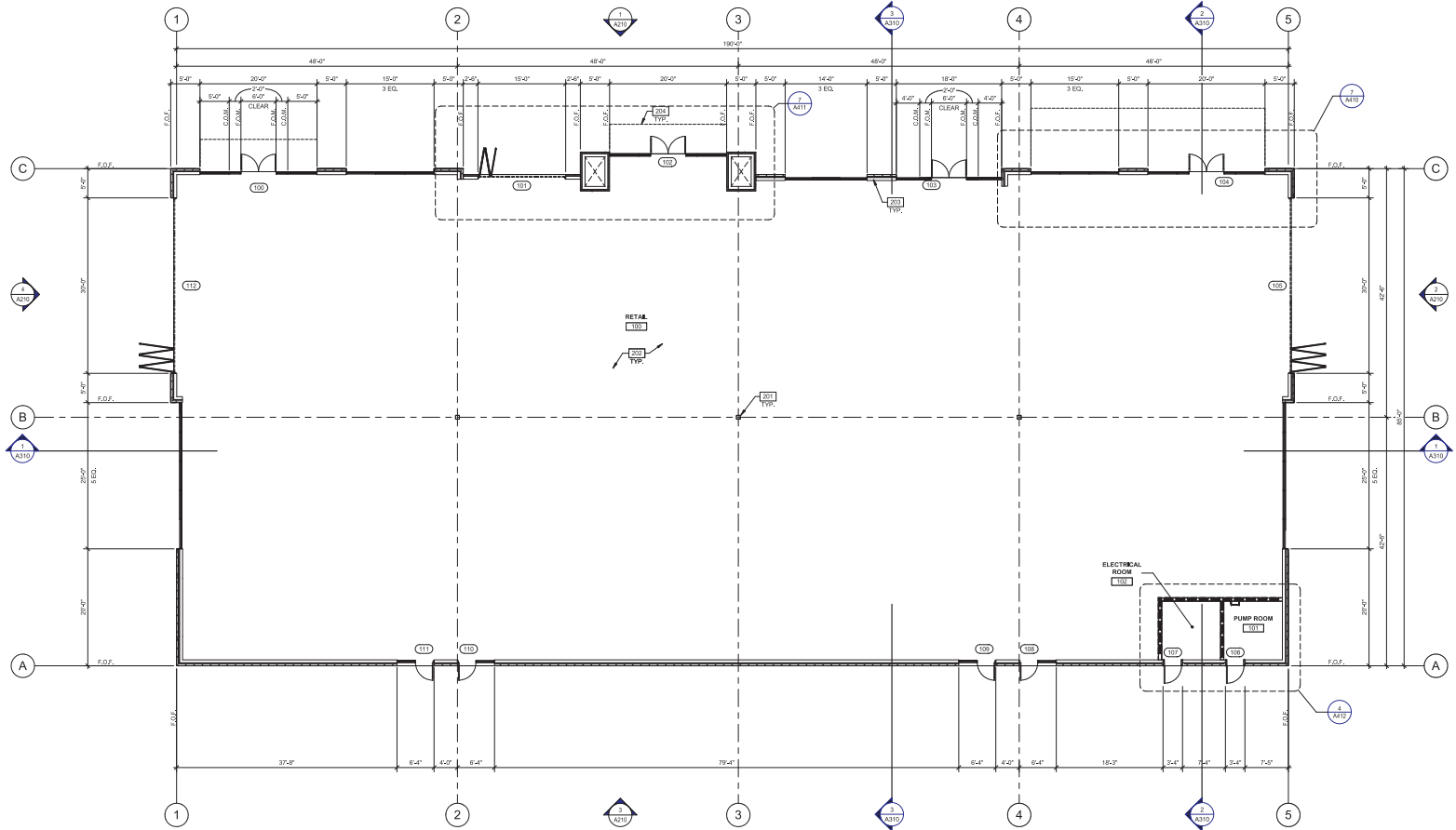
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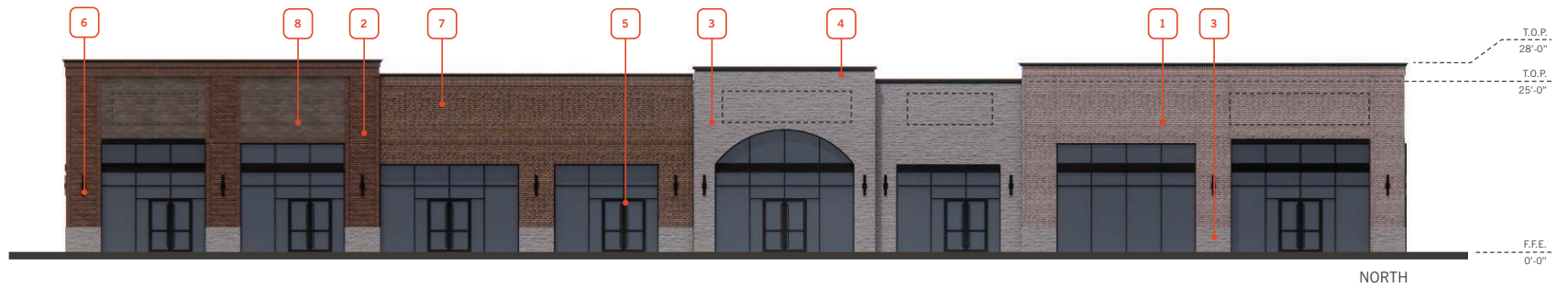


EAST

KEYNOTES

- | | | | |
|-------------------------------|--|---|---|
| 1 BRICK - MIDDLE TONE | 4 ALUMINUM PRE-FINISHED COPING
DARK FINISH | 7 POTENTIAL LOCATION FOR SIGNAGE | 10 POTENTIAL LOCATION(S) FOR ART MURAL |
| 2 BRICK - DARK TONE | 5 ALUMINUM STOREFRONT
DARK FINISH | 8 WOOD VENEER ACCENT | |
| 3 STACKED STONE VENEER | 6 EXTERIOR LIGHTING | 9 BRICK EXPRESSION | |





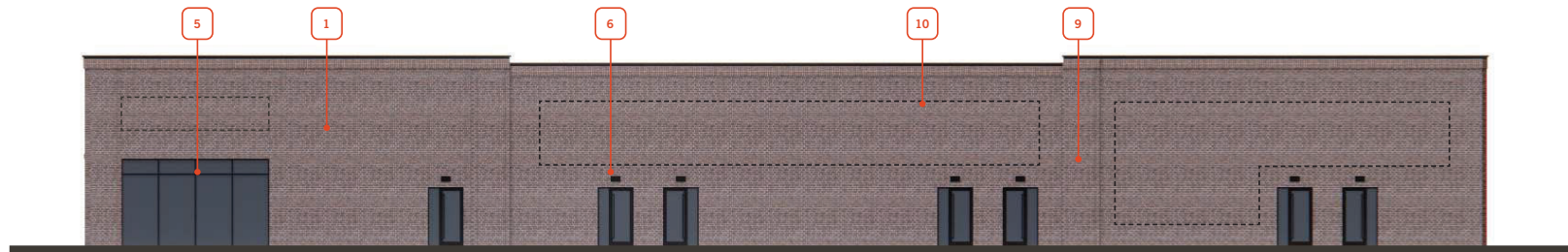
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EAST



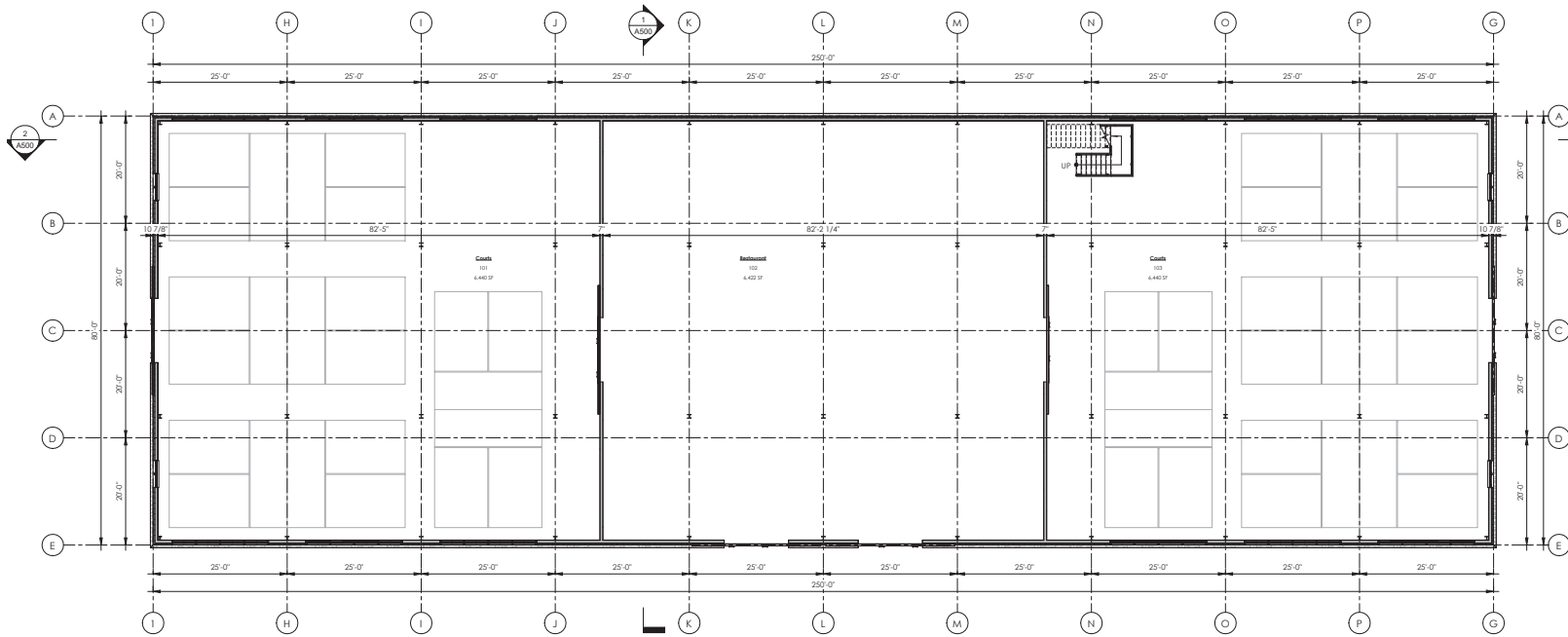
WEST



SOUTH

KEYNOTES

- | | | | |
|-------------------------------|--|---|---|
| 1 BRICK - MIDDLE TONE | 4 ALUMINUM PRE-FINISHED COPING
DARK FINISH | 7 POTENTIAL LOCATION FOR SIGNAGE | 10 POTENTIAL LOCATION(S) FOR ART MURAL |
| 2 BRICK - DARK TONE | 5 ALUMINUM STOREFRONT
DARK FINISH | 8 WOOD VENEER ACCENT | |
| 3 STACKED STONE VENEER | 6 EXTERIOR LIGHTING | 9 BRICK EXPRESSION | |





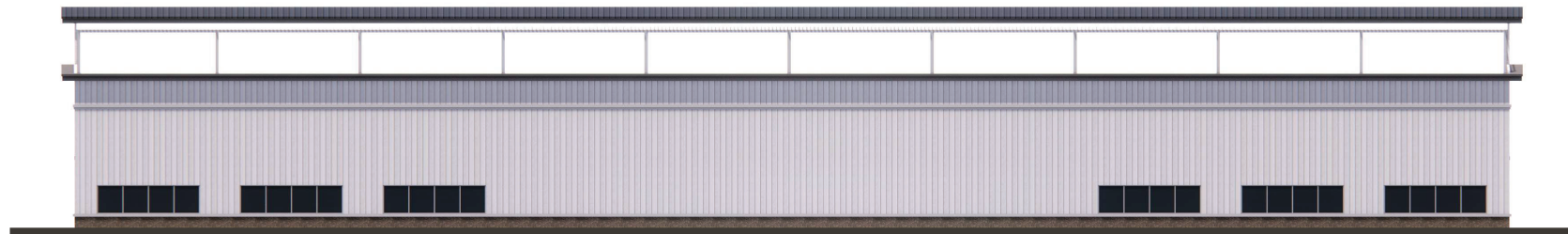
NORTH



EAST



WEST

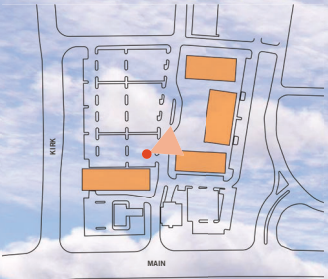


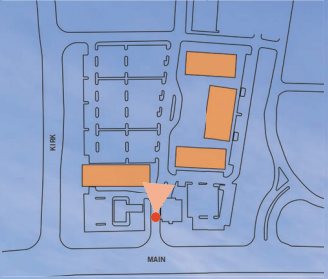
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KEYNOTES

- 1 ALUMINUM STOREFRONT
WHITE MULLIONS
- 2 PREFINISHED METAL PANEL
LIGHT/WHITE
- 3 STACKED STONE VENEER









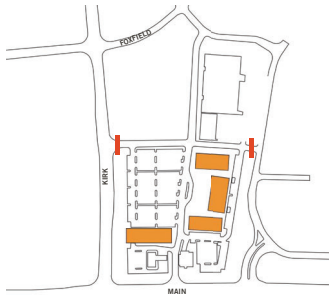
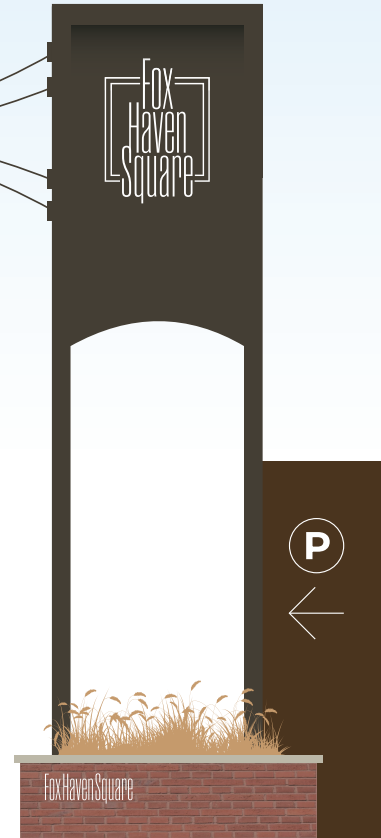
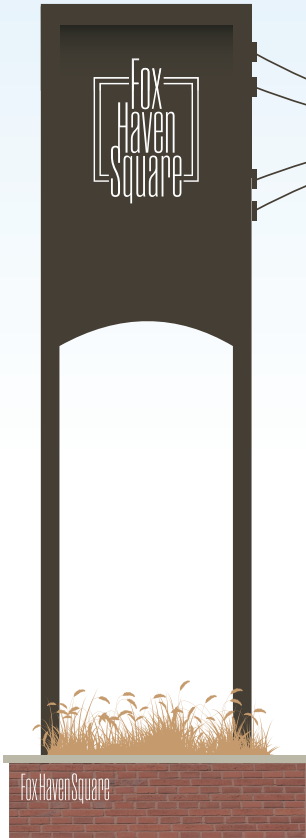




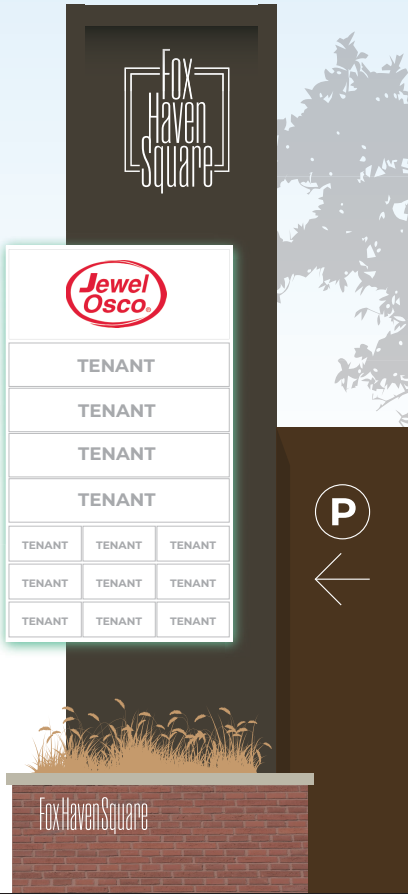




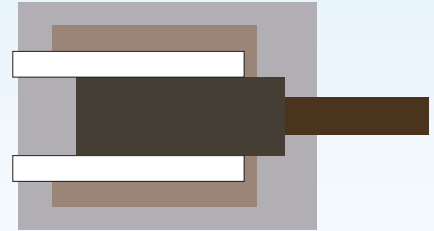




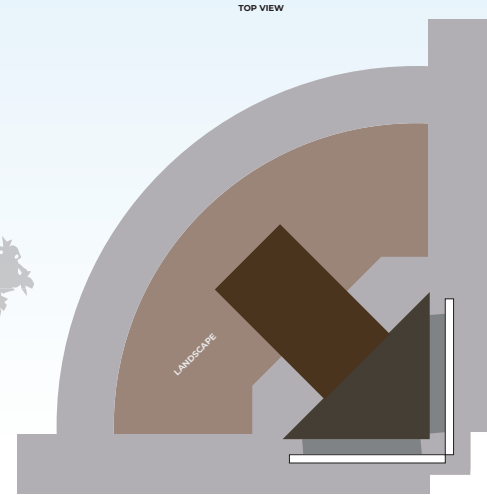
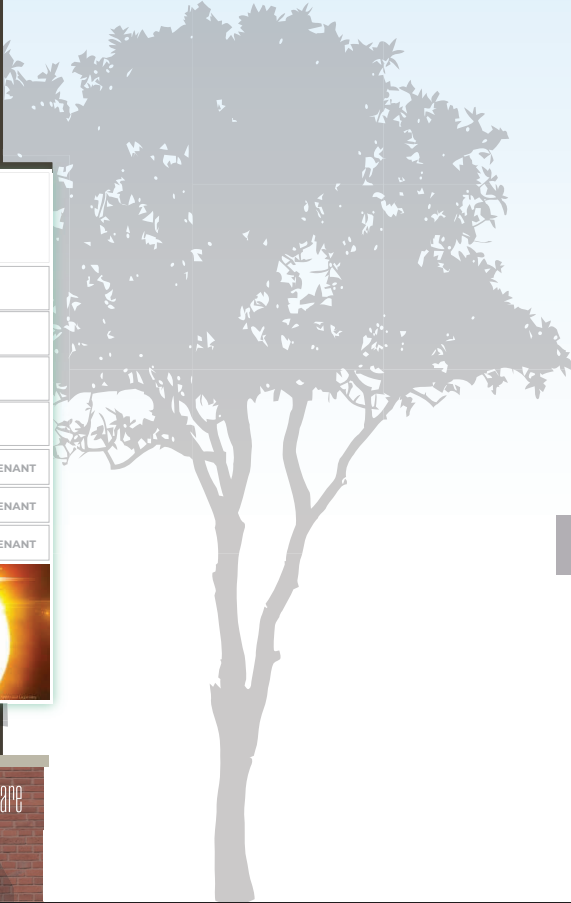
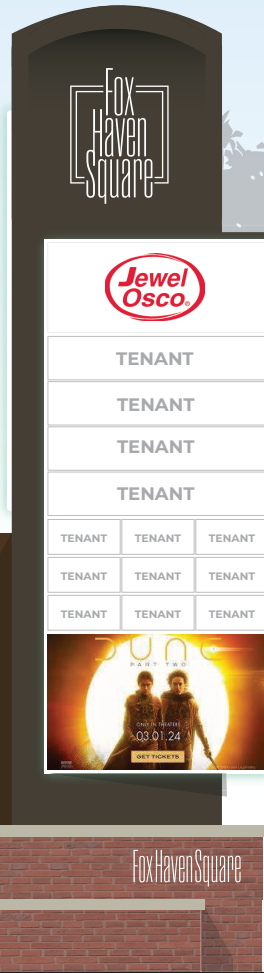
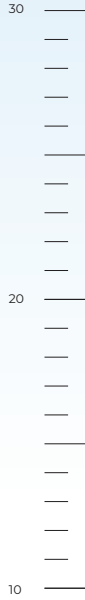
Fox Haven Square

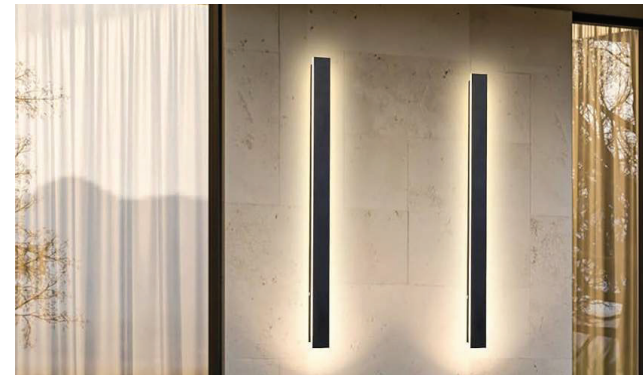


TOP VIEW

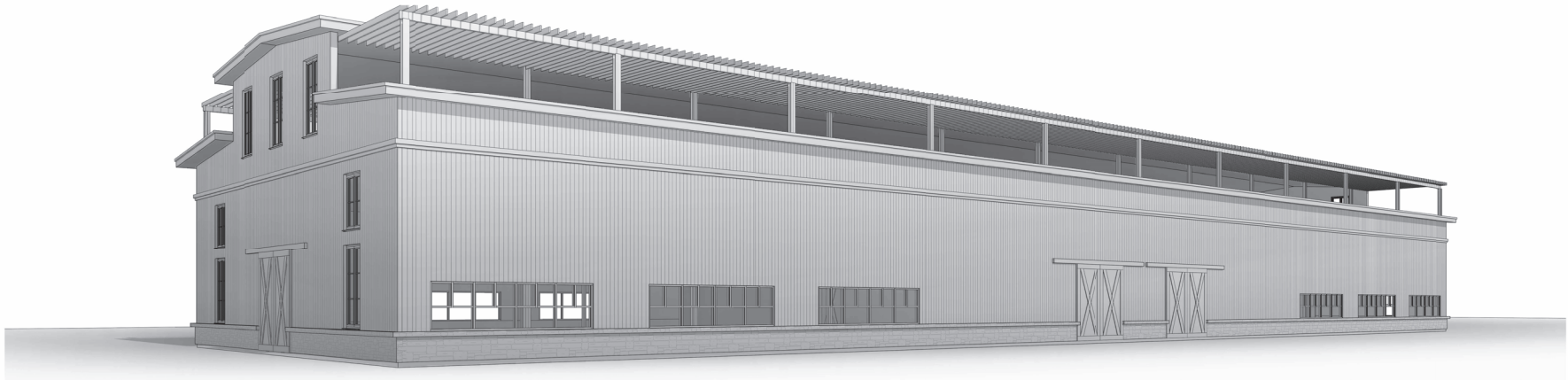


Fox Haven Square



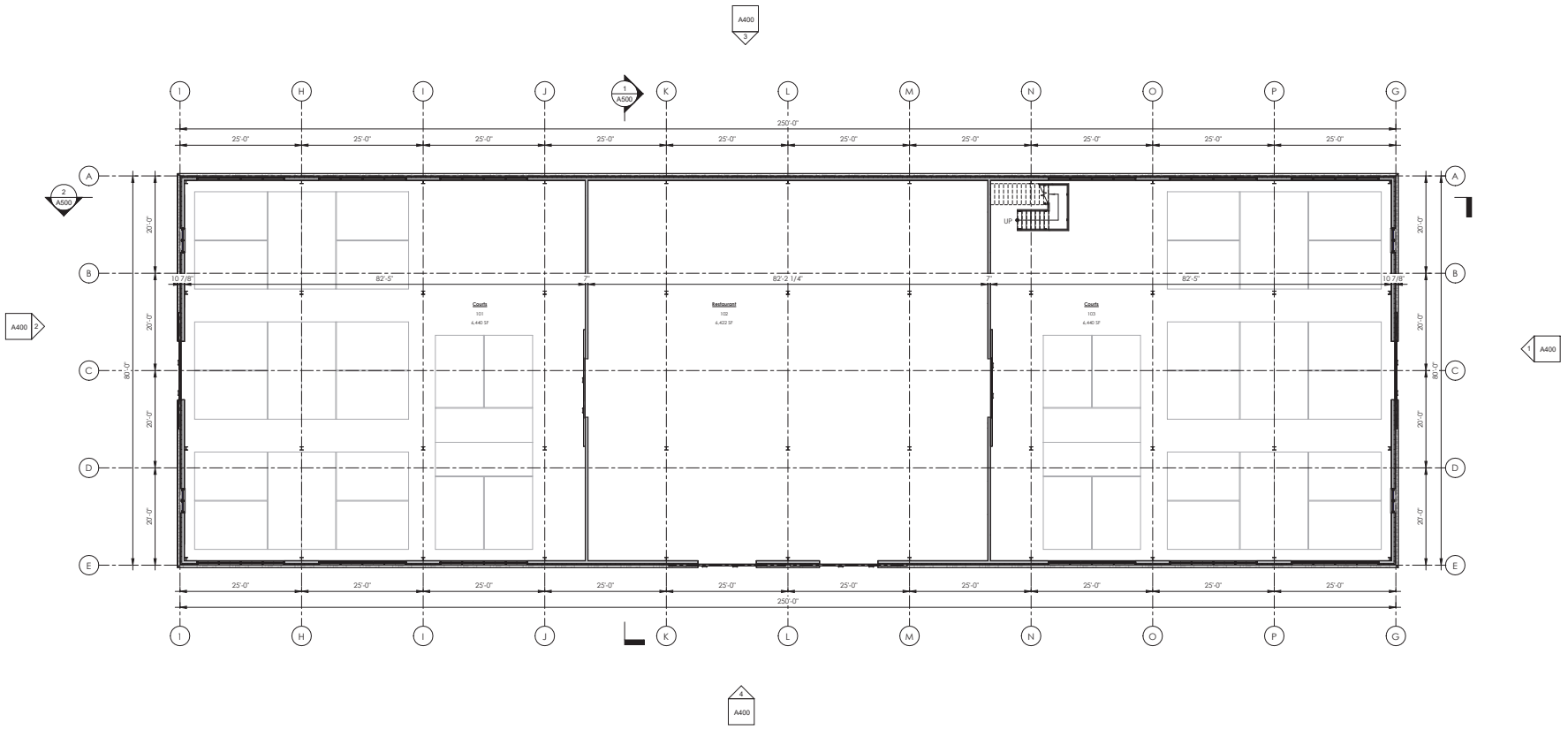


Montauk pickleball



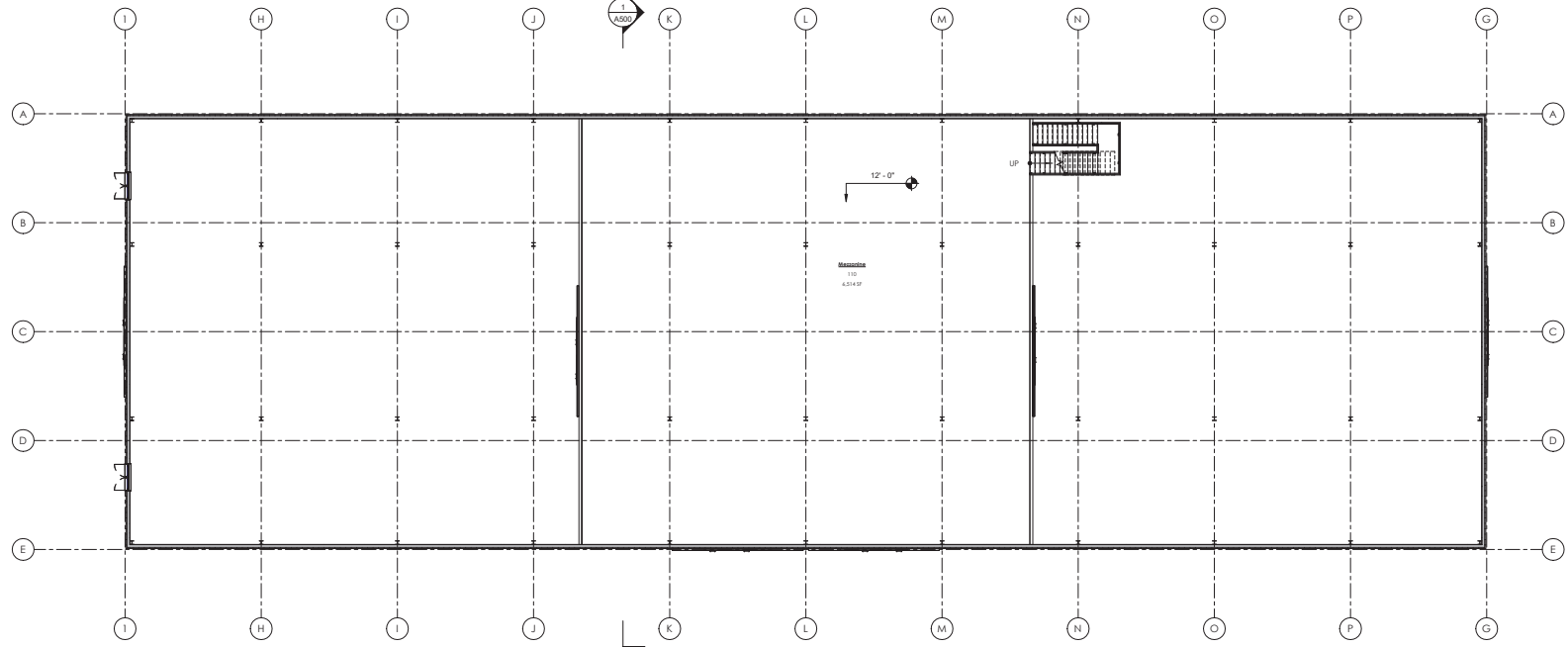
A100	Cover Sheet
A101	General Notes
A210	1ST Floor Plan
A220	Mezzanine Floor Plan
A300	2nd Floor Plan
A310	Roof Plan
A400	Elevations
A500	Sections 1
A600	Details & Schedules
A601	Details & Schedules
A602	Details & Schedules
A603	Details & Schedules
A800	Isometric Views
A900	Perspective views

NO.	DATE	DESCRIPTION



1 1st FLOOR PLAN
3/32" = 1'-0"

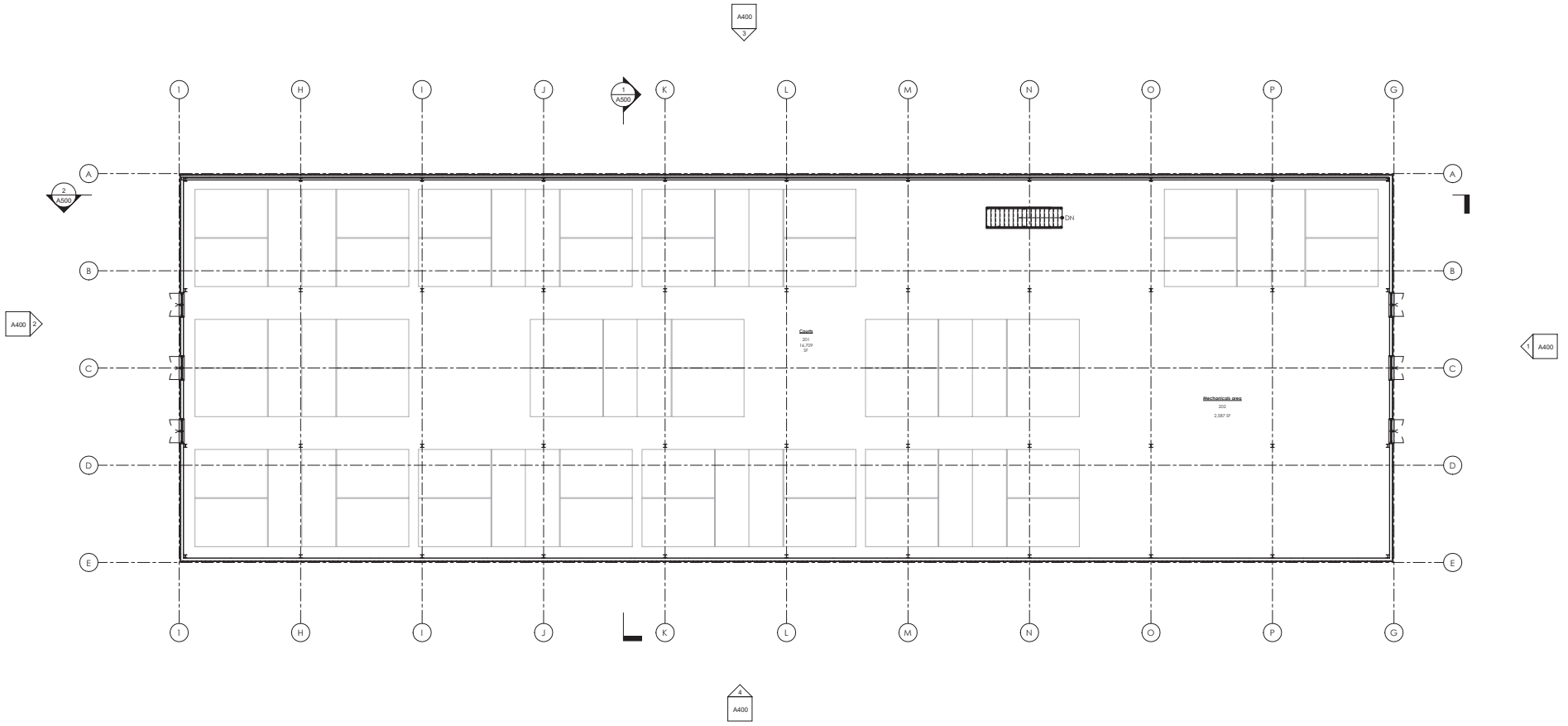
Room Schedule 1st Floor		
Number	Name	Area
1ST Floor Plan		
101	Courts	6,440 SF
102	Restaurant	6,422 SF
103	Courts	6,440 SF
		19,302 SF
MEZZANINE FLOOR		
110	Mezzanine	6,514 SF
		6,514 SF
2ND FLOOR LEVEL		
201	Courts	16,709 SF
202	Mechanicals area	2,567 SF
		19,296 SF
		45,112 SF



① MEZZANINE FLOOR
3/32" = 1'-0"

Rev	Description	Date

1 2ND FLOOR LEVEL
1" = 10'-0"



2nd Floor Plan
05/19/2020

Scale

A300

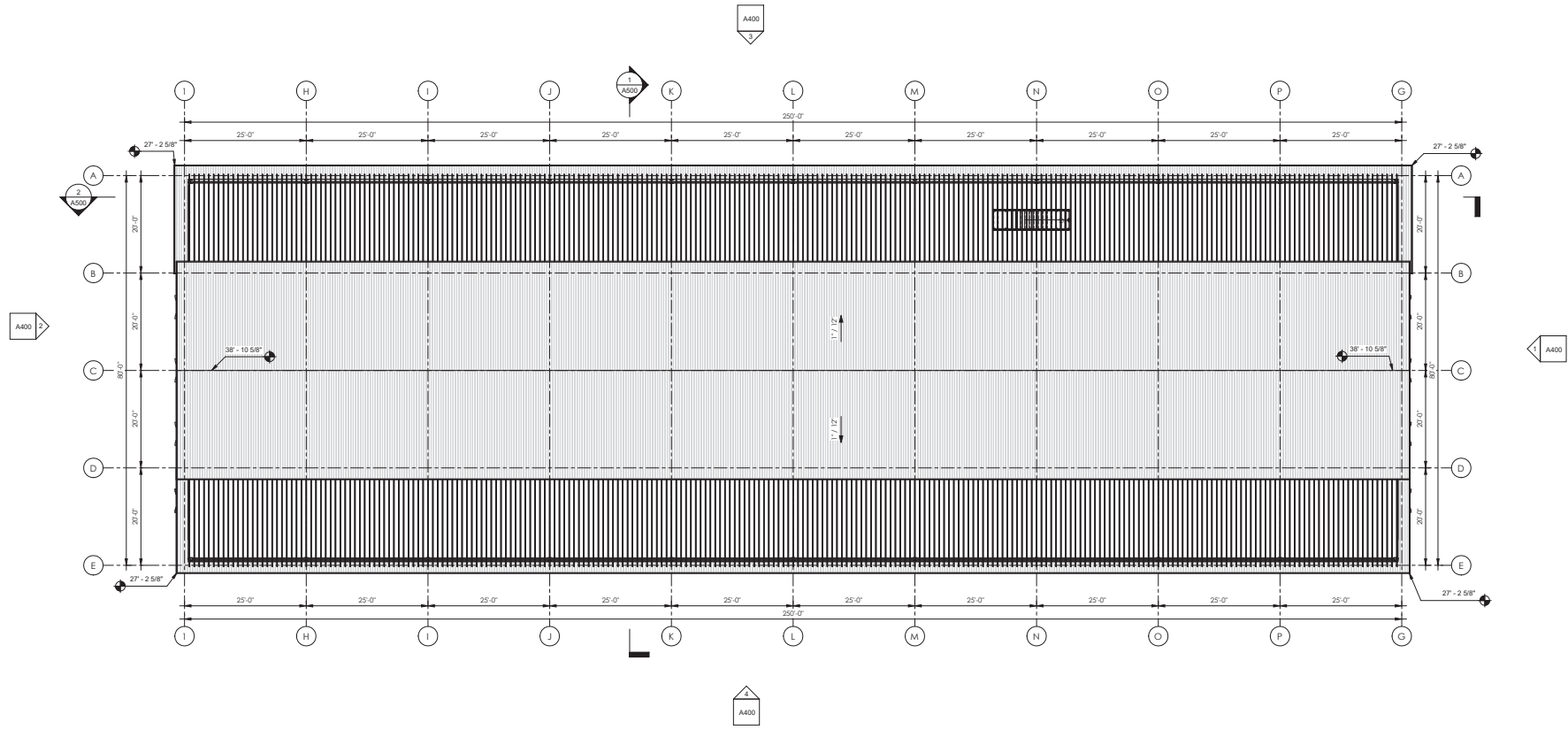
Project Number

Project Status

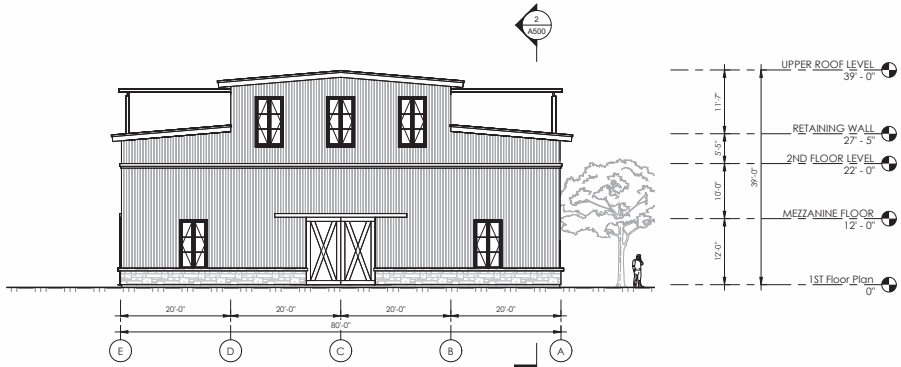
Owner
Mentana, pckeball
Project Number
Project Status

APPROVAL SET - NOT FOR CONSTRUCTION

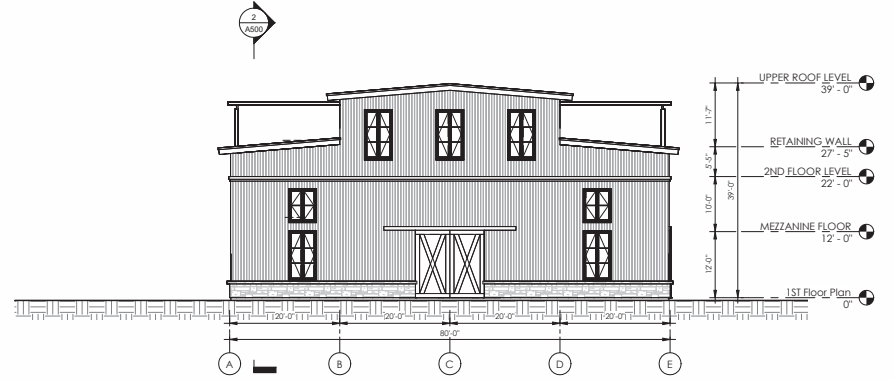
① UPPER ROOF LEVEL
 $3/32" = 1'-0"$



DATE	DESCRIPTION
05/10/2020	AS10
	Project Number
	3/07 = 1'-0"



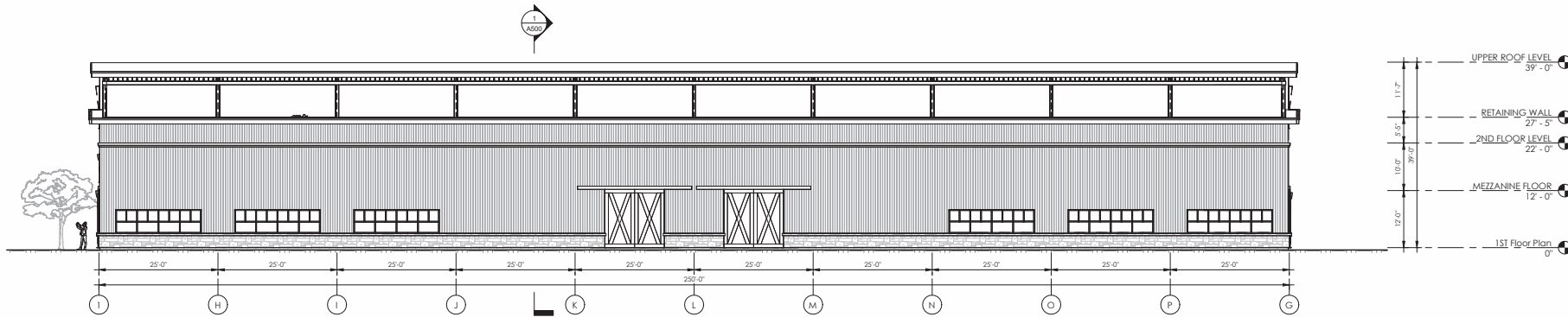
1 EAST ELEVATION
3/32" = 1'-0"



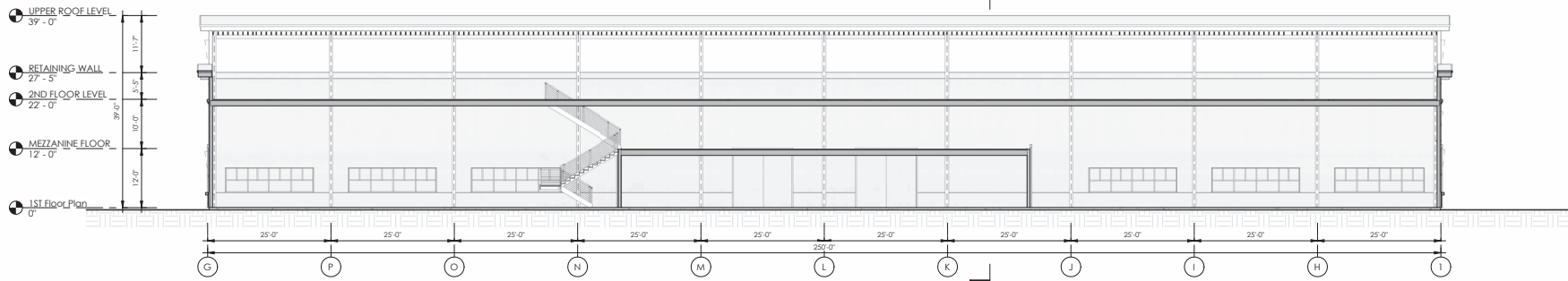
2 WEST ELEVATION
3/32" = 1'-0"



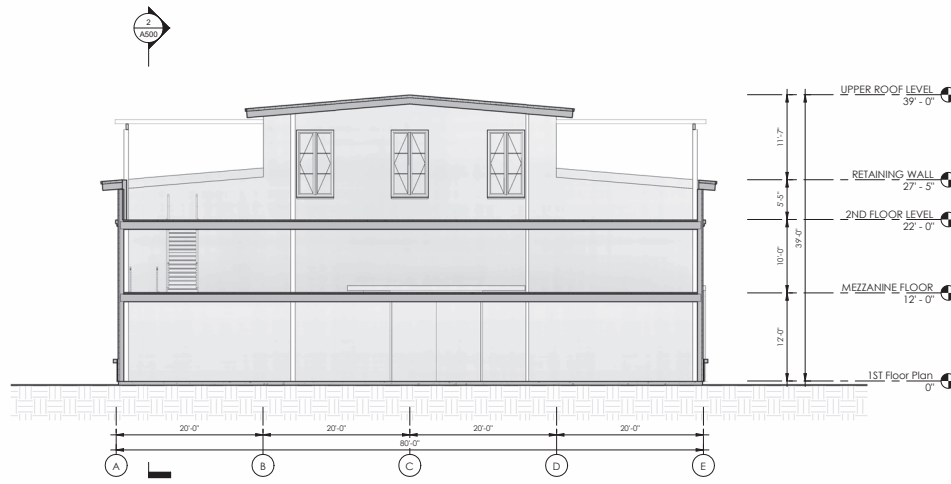
3 NORTH ELEVATION
3/32" = 1'-0"



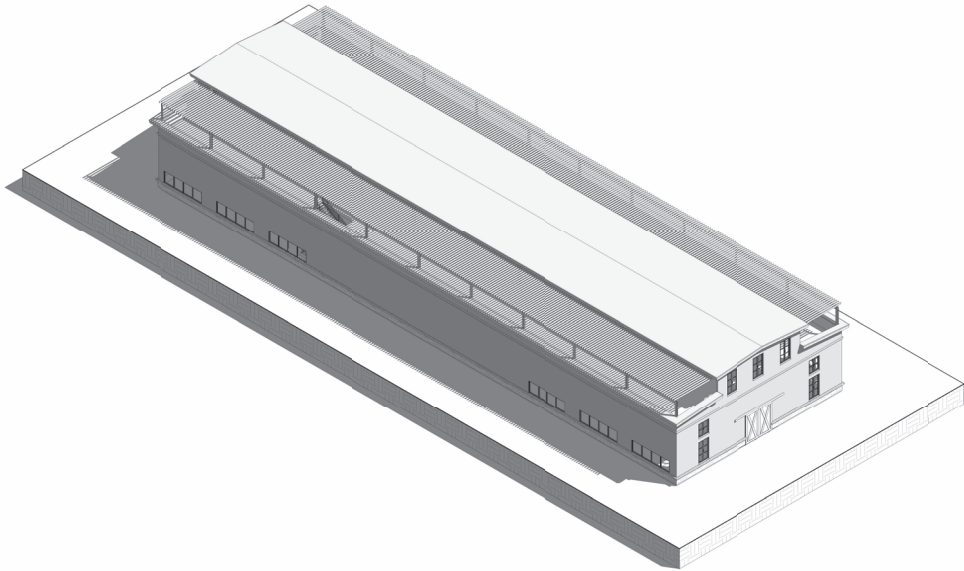
4 SOUTH ELEVATION
3/32" = 1'-0"



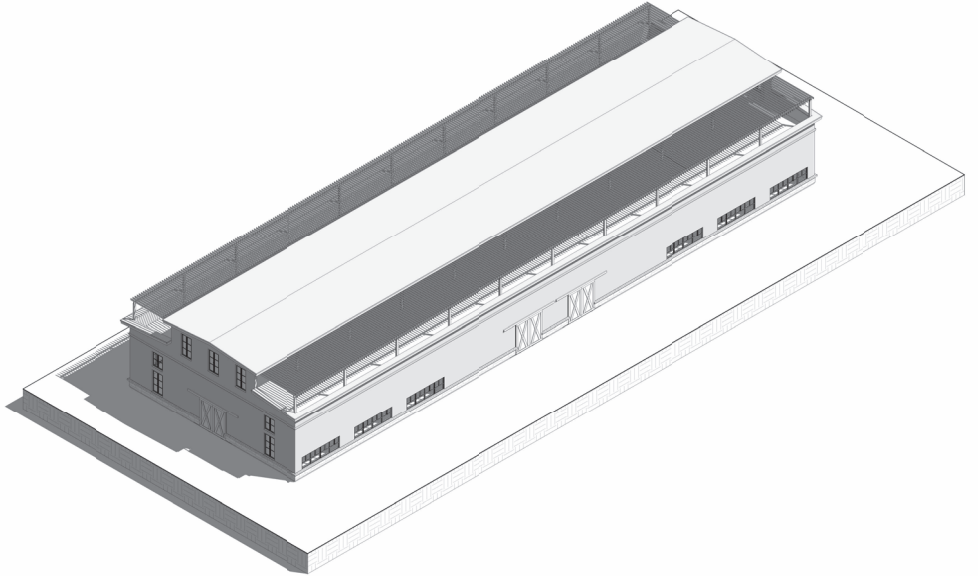
② Section I
3/32" = 1'-0"



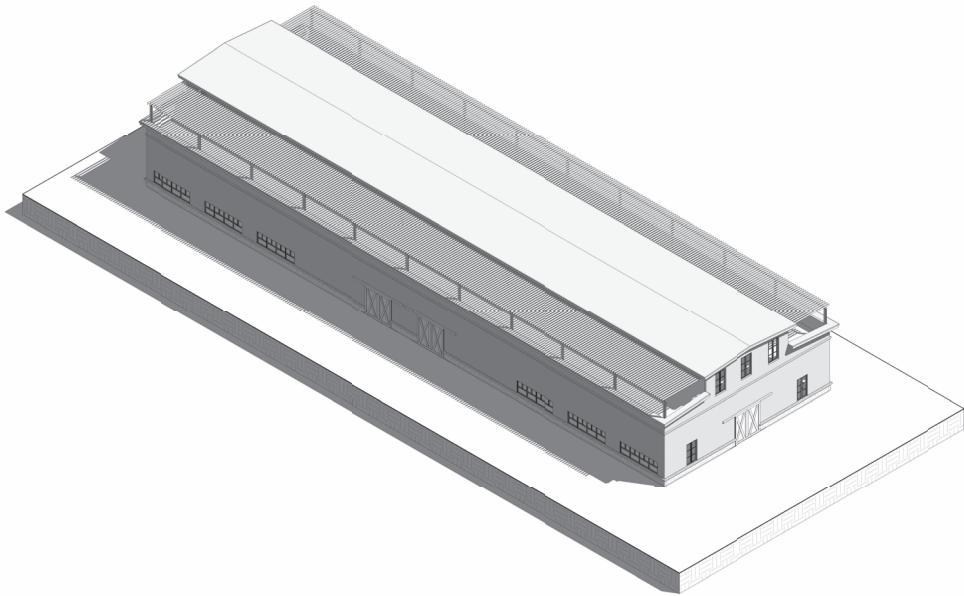
① Section A
1/8" = 1'-0"



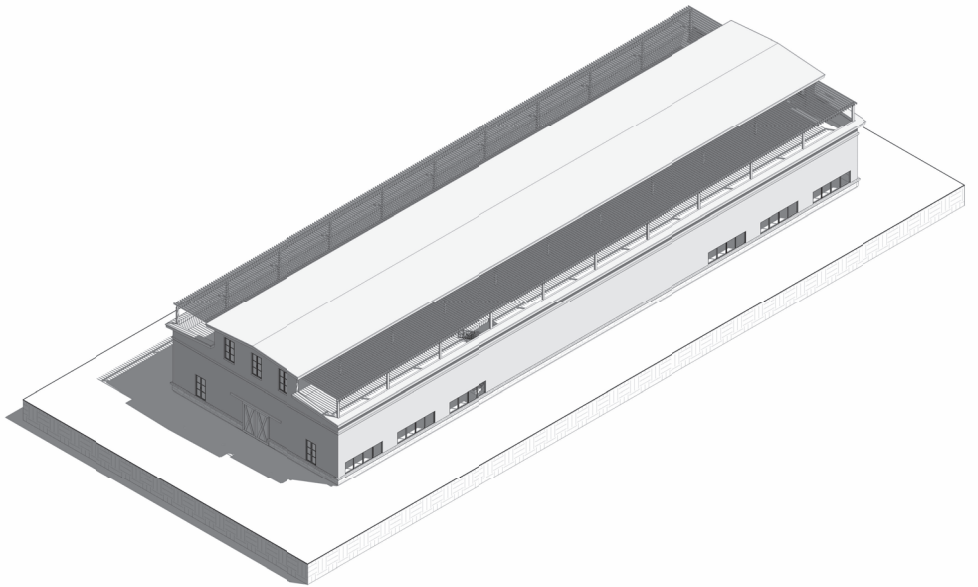
① Isometric 1



② Isometric 2

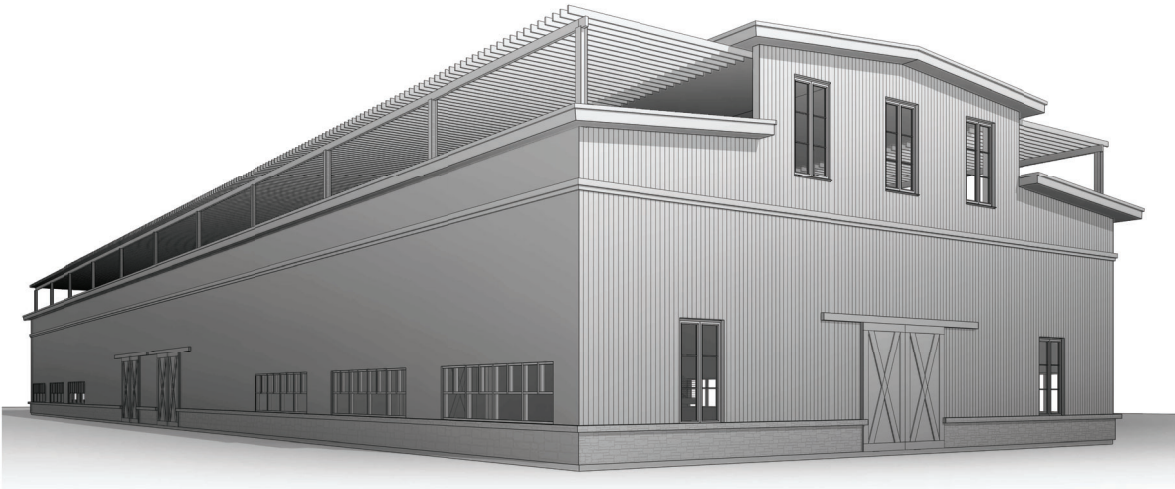
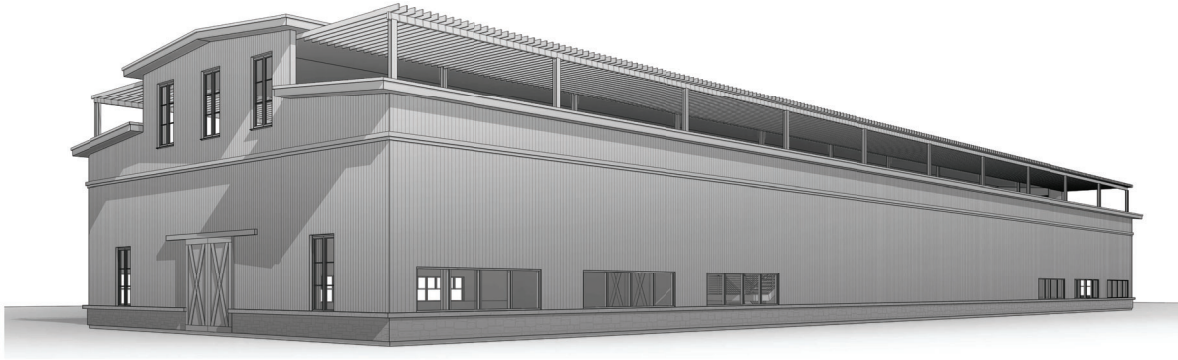
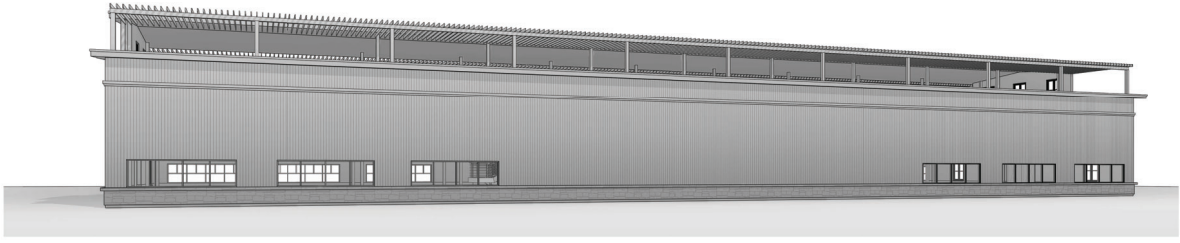


③ Isometric 3



④ Isometric 4

Rev	Description	Date



Date: 05/17/2020
 Scale: A500
 Project Number:

Perspective views	
View	Scale

Owner: Montauk pickleball
 Project Number:
 Project Status: