A A	AGENDA ITEM EXECUTIVE SUMMARY			Agenda Item number: 4a	
	Title:	Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Fox Haven Square (Stuart's Crossing PUD).			
CITY OF ST. CHARLES ULINOIS+1834	Presenter:	Ellen John	son, Planner		
Meeting: Planning & Development Committee Date: June 10, 2024				une 10, 2024	
Proposed Cost: \$			Budgeted Amount: \$	Not Budgeted: □	
TIF District: No	TIF District: None				
	44.5				

Executive Summary (if not budgeted, please explain):

Greco Investment Management LLC has filed applications for Special Use (PUD Amendment) and PUD Preliminary Plan, seeking approval of a commercial development on the vacant 7.5-acre parcel in the Stuart's Crossing PUD. The property is located south of the Jewel on Kirk Road. The proposal includes:

- Three restaurant/retail buildings clustered around a plaza at the east end of the site.
- Pickleball facility with restaurant at the south end.
- Approx. 70,000 total building square footage.
- Parking in front along Kirk Road.
- Access from existing driveways off E. Main Street and Kirk Road, and through the Jewel site to Foxfield Dr.
- New cross-access connection to the Charlestowne Mall property.
- Monument signage package for the entire center, including architectural entry features.

A Concept Plan similar to the proposal was reviewed in Sept. 2023.

Plan Commission Review

Plan Commission held a public hearing on 6/4/24. Commissioners were enthusiastic about the project, and appreciative of the applicant's commitment to address the remaining staff comments. Plan Commission unanimously recommended approval, subject to resolution of outstanding staff comments as listed in the Staff Report. Two items of note:

- 1. <u>Building 4 Elevations</u> The Pickleball facility is early in the design process. Staff has a number of comments on the exterior. Comments are aimed at enhancing the appearance of the building due to its visibility, size, and siding material (metal panels). The applicant has indicated that they intend to work with the pickleball tenant and staff to revise the design, but stay within the theme of the architectural style. (Note- If the revised elevations are not finalized before the rest of the project is ready for a final City Council vote, the revised elevations could be provided at a later date and presented for review and approval by Plan Commission and P&D Committee.)
- 2. <u>Kirk Road Sidewalk</u> Staff has requested public sidewalk be provided along the development's Kirk Road frontage, and possibly extending south along the bank property, to the Rt 64 ROW. Based on feedback from KDOT, a sidewalk extending south would trigger a requirement for cross-walks at Kirk/Rt 64. At Plan Commission, it was discussed that instead extending sidewalk to the north along the Jewel property to Foxfield Drive would be more feasible and desirable from a pedestrian connectivity standpoint. The developer has agreed to provide sidewalk along the development frontage. They intend to include the off-site sidewalk along the Jewel property in a sales tax incentive request for off-site improvements. The incentive request will also include the new cross-access to the Mall property.

Attachments (please list):

Plan Commission Resolution, Staff Report, Applications, Plans

Recommendation/Suggested Action (briefly explain):

Recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Fox Haven Square (Stuart's Crossing PUD), subject to resolution of outstanding staff comments, prior to City Council action.

City of St. Charles, Illinois Plan Commission Resolution No. 9-2024

A Resolution Recommending Approval of an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for Fox Haven Square, Stuart's Crossing PUD Lot 4 (Greco Investment Management LLC)

Passed by Plan Commission on June 4, 2024

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the Application for Special Use for PUD (PUD Amendment) and PUD Preliminary Plan for Fox Haven Square, Stuart's Crossing PUD Lot 4 (Greco Investment Management LLC); and,

WHEREAS, in accordance with Section 17.04.410.D.3, the Plan Commission finds the Special Use for PUD to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A.
 - 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The site improvements are proposed on vacant land which is under utilized in a highly commercial area of the City. These buildings and improvements will attract additional businesses and serve the City and surrounding communities. There is a proposed outdoor plaza and seating area which will promote social interaction. In

addition, the increased consumer traffic will improve the accessibility to existing businesses in the area, bringing in increased activity and revenue to the City.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

The amendment to the PUD will provide additional community amenities in the form of an outdoor plaza/seating area which will promote increased social interaction. Proposed landscaping will provide natural feels and proposed permeable pavers within the parking lot promote positive stormwater management principles.

- iii. The proposed PUD conforms with the standards applicable to Special Use (Section 17.04.330.C.2):
 - A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

The site is surrounded by existing commercial retail which is currently serving the public. The improvements will increase public usage and convenience.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

The project site was originally part of the Stuart's Crossing PUD, which provided detention and infrastructure for future development.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The site is surrounded by existing commercial retail. The proposed commercial buildings will not impact the surrounding businesses in a negative way.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

The site is surrounded by existing commercial retail, therefore will not impede on normal and orderly development of the surrounding property.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

The site is within an existing commercial area, therefore will not change the demographics of the surrounding businesses and will not be detrimental to the public.

F. Conformance with Codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The development will conform to existing and approved provisions as applicable to the existing PUD and the City codes.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed development will utilize vacant space to attract additional businesses which can be accessed by the City and surrounding communities. This will attract consumers and bring additional revenue to the City.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

The proposed commercial retail development is within an existing commercial area of the City, therefore will not impact the purpose and intent of the Comprehensive Plan.

WHEREAS, the Plan Commission finds said PUD Preliminary Plan to be in conformance with the applicable PUD and Zoning Ordinance requirements, except as varied per the application for Special Use for PUD (PUD Amendment), subject to resolution of any outstanding staff review comments.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of an Amendment to Special Use for Planned Unit Development and

Resolution	No.	9-2024
Page 4		

PUD Preliminary Plan for Fox Haven Square, Stuart's Crossing PUD Lot 4 (Greco Investment Management LLC), subject to resolution of staff comments.

Roll Call Vote:

Ayes: Moad, Lawson, Wiese, Ewoldt, Rosenberg, Gruber, Fitzgerald, Vargulich

Nays:

Absent: Funke Motion carried: 8-0

PASSED, this 4th day of June 2024.

Chairman
St. Charles Plan Commission



Staff Report Plan Commission Meeting – June 4, 2024

Applicant:	Greco Investment	Fox Haven Square		
	Management LLC	The state of the s		
Property	SVAP III Stuart's	A CONTRACTOR OF THE PERSON OF		
Owner:	Crossing Vacant Lot			
	LLC & SVAP III	The same of the sa		
	Stuart's Crossing	and the second s		
	Small Shops LLC			
Location:	East side of N Kirk			
	Rd., north of Rt. 64,	D KI LE		
	south of Jewel	N Kirk Rd		
Purpose:	Commercial			
	development	Z		
Application:	Special Use (PUD			
	Amendment)			
	PUD Prelim. Plan			
Public Hearing:	Yes, required			
Zoning:	BR Regional			
	Business / PUD			
Current Land	Vacant	1 1 1 2 1 - 6 - 6 2 - 6 2 V V V V V V V V V V V V V V V V V V		
Use:		E Main St / Rt 64		
Comprehensive	Corridor / Regional			
Plan:	Commercial	Subject Property		
Summary of	Greco Investment Ma	inagement LLC has filed zoning applications seeking approval to		
Proposal:	construct a commercial development on the vacant 7.5-acre parcel in the Stuart's			
	Crossing PUD. The pro	operty is located south of the Jewel on Kirk Road. The proposed		
	development includes	S:		
		/retail buildings clustered around a plaza at the east end of the		
	site and pickleba	ll/restaurant building at the south end.		
	• •	otal building square footage.		
	 Parking in front, a 	-		
	 Access from existing driveways off E. Main Street and Kirk Road. 			
	• Preserve existing cross-access drive through the property from Jewel to E. Main St.			
		s to the Charlestowne Mall property.		
	A Concept Plan similar to the proposal was reviewed in Sept. 2023.			
Info /	Special Use (PUD Am	endment):		
Procedure on	Approval of development project with specific deviations from the Zoning Ordinance			
Application:	and/or existing PUD Ordinance standards. (Establishes an ordinance amending the			

existing PUD, with unique zoning or subdivision standards that apply to a single

• Public hearing is required, with a mailed notice to surrounding property owners.

development site)

- Single finding Is the PUD Amendment in the public interest? Criteria are considered in reaching a decision. Responses to the criteria need not be in the affirmative to recommend approval of a PUD or PUD Amendment.
- The Plan Commission may recommend conditions and restrictions upon the
 establishment, location, design, layout, height, density, construction, maintenance,
 aesthetics, operation and other elements of the PUD as deemed necessary to secure
 compliance with the standards specified in the Zoning Ordinance.
- The Plan Commission may recommend exceptions and deviations from the requirements of the Zoning and Subdivision Codes requested by the applicant, to the extent that it finds such exceptions and deviations are supportive of the standards and purposes for PUDs.

PUD Preliminary Plan:

- Approval of plans for development of property within a PUD- includes site, landscape, and engineering plans.
- Recommendation is based on compliance with the previously (or concurrently) approved Special Use for PUD standards and other City Code requirements.

Suggested Action:

Conduct the public hearing on the Special Use (PUD Amendment) and close if all testimony has been taken.

The Plan Commission may vote on this item should the Commission feel that they have enough information to make a recommendation.

Staff recommends that any recommendation include a condition requiring resolution of staff comments prior to City Council action.

Staff Contact:

Ellen Johnson, Planner

I. PROPERTY INFORMATION

A. History / Context

The subject property is a vacant 7.5-acre parcel platted as Lot 4 of Stuart's Crossing Retail Subdivision. The subject property also includes a portion of Lot 3 of the same subdivision, which encompasses the Kirk Road site access drive and the "Small Shops" multi-tenant center attached to Jewel. The subject property is within "Parcel 2" of the Stuart's Crossing PUD. The PUD was approved under Ordinance No. 1997-M-115 "An Ordinance Granting a Special Use as a Planned Unit Development (Stuart's Crossing PUD)". The PUD encompasses a large swath of properties situated around the southwest and northeast corners of E Main St. and Kirk Rd.

The PUD Ordinance contains development standards and design criteria for each of the four portions of the PUD:

- Parcel 1: Stuart's Crossing Townhomes (NE corner of Kirk Rd. & Foxfield Dr.)
- Parcel 2: Commercial properties at the northeast corner of Kirk Rd. & E Main St., south
 of Foxfield Dr. (former On The Border, Old Second Bank, Jewel, multi-tenant center,
 vacant property)
- Parcel 3A: Commercial properties at the southwest corner of Kirk Rd & E Main St. (Dunkin Donuts, Walgreens, Wok n Fire, Panera, First American Bank)
- Parcel 3B: Ascend St. Charles Apartments, south of Parcel 3A (formerly AMLI)

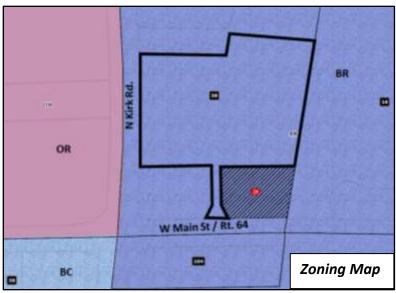
The PUD was primarily built out in the early 2000s, with the exception of Lot 4, which has remained vacant aside from a shared access drive that bisects the property north-south, providing access to Jewel from Main Street.

In September 2023, the Plan Commission and Planning & Development Committee reviewed a Concept Plan for the subject property which proposed four commercial buildings and an outdoor plaza.

B. Zoning

The subject property is zoned BR Regional Business and PUD (Stuart's Crossing PUD). Commercial zoning exists to the north, east, and south, with a church to the west.

	Zoning	Land Use
Subject Property BR Regional Business/PUD		Vacant
North BR Regional Business/PUD Commercial strip center,		Commercial strip center, Jewel
East	BR Regional Business/PUD	Charlestowne Mall
South BR Regional Business/PUD C		Old Second Bank, On The
		Border, Pride Gas Station
West	OR Office/Research	St. John Neumann Church



C. Comprehensive Plan

The Land Use Plan adopted as part of the <u>2013 Comprehensive Plan</u> identifies the subject property as "Corridor/Regional Commercial" (Ch. 4).



The Corridor/Regional Commercial land use category is described as follows (p.46):

Areas designated as Corridor/Regional Commercial are intended to accommodate larger shopping centers and developments that serve a more regional function, capitalizing on traffic volumes along the City's busy streets and drawing on a customer base that extends beyond the City limits. These areas are appropriate for "big box" stores, national retailers, and regional malls or a "critical mass" of multiple stores and large shared parking areas. Commercial service uses can also have an appropriate place in corridor/regional commercial areas, but must be compatible with adjacent and nearby retail and commercial shopping areas and be located as to not occupy prime retail locations.

The Land Use Plan identifies Corridor/Regional Commercial in the City's east and west gateways, clustered around Kirk Road and Randall Road, two busy north south streets that bi-sect the City. Both of these areas are ideally suited for a large scale commercial/retail development capable of drawing from a larger region. At both locations, access and visibility is ideal for a more regional commercial draw, and heavy traffic volumes provide visibility desired by retailers. As development and redevelopment is considered in these areas, consideration should be given to maximizing revenue generating opportunties. It is also important to recognize the importance of promoting high-quality development in these locations as they serve as gateways into the City and are pivotal in shaping perceptions of St. Charels as visitors enter the City.

Both the Kirk Road and Randall Road corridors are critical to the economic livelihood of the City and both have challenges and issues that must be addressed in order to maintain their vitality.

In addition, the subject property and surrounding commercial areas are part of the **East Gateway Subarea**, which is centered on the intersection of Kirk Rd. and Main St. (p.102). The following goals and objectives were created in recognition that the area represents a significant piece of the local economy.

Subarea Goals

The East Gateway subarea represents a unique opportunity for economic development, revitalization and stabilization with for a specific context within the City of St. Charles. The overall vision for the subarea includes the following:

- Revitalization of the Subarea's retail areas that maximizes the locational assets within this area of the City.
- Improved connectivity and circulation within the Subarea providing logical and efficient connections between compatible uses.
- Better separation of incompatible land uses to protect residential neighborhoods while at the same time help define the City's business areas.
- Attractive streets and sites to distinguish this Subarea and key corridors from neighboring communities.
- A mix of uses that that help diversify the City's economy and provide places to live, work, and shop.

Subarea Objectives

 Improve the appearance of the Kirk Road and Main Street Corridors to assist in strengthening the community's identity and appearance through installation of streetscaping, wayfinding and gateway elements.

- Use landscaping appropriately to enhance commercial areas, screen unsightly areas, and provide an attractive streetscape and overall setting for the area.
- Improve the overall connectivity and mobility within the Subarea through both public streets and internal connection to provide a predictable and navigable environment.
- Preserve surrounding neighborhoods through the use of screening, buffering, and better separation from commercial development.
- Create market-responsive development parcels that can accommodate projects of an appropriate scale and phasing over time.
- Take advantage of proximity to DuPage Airport and Pheasant Run as activity generators.
- Reposition the Charlestowne Mall site to foster its renaissance or its redevelopment.
- Enhance the character of both existing and new development through site improvements, facade enhancements, consistent signage regulation, and at-tractive building design and materials.

The subject property is identified as **Catalyst Site "B"** within the East Gateway Subarea (P.104):

South of the Jewel-Osco along Kirk Road, this vacant site provides an opportunity to provide exposure and access for the Charlestowne Mall to Kirk Road. Development of the site should have strong orientation to Kirk Road, but also should be careful not to neglect its rear side that will be exposed to the Charlestowne Mall site.

In addition, the Charlestowne Mall Framework Plan (p.105) contemplates extending the east-west cross-access drive between Jewel and the subject property through to the Charlestowne Mall property.

II. PROPOSAL

Greco Investment Management LLC is proposing to develop a commercial development on Lot 4 and part of Lot 3 of the Stuart's Crossing PUD. Two applications have been filed:

- 1. Application for Special Use requesting to amend the Stuart's Crossing PUD to allow for certain deviations from the existing PUD Ordinance and the Zoning Ordinance. Requested deviations are in regards to the setback on Kirk Road, off-street parking, development signage, landscaping, and building design.
- **2. Application for PUD Preliminary Plan** to approve the site layout, landscaping, building elevations, photometric, and preliminary engineering plans.

The proposed development is summarized as follows:

- Three restaurant/retail buildings clustered around a plaza at the east end of the site.
 - Building 1 16,500 sf restaurant & 9,650 sf retail
 - Building 2 19,500 sf restaurant
 - Building 3 4,000 sf restaurant & 10,250 sf retail
 - Plaza area for outdoor dining and communal gathering
- Pickleball/restaurant building at the south end of the site
 - o Building 4 20,000 sf
- Parking in front of the buildings, along Kirk Road.
- Valet/drop-off area in front of the plaza.
- Access from existing driveways off E. Main Street and Kirk Road.
- Preserve existing north-south cross-access drive through the property from Jewel to E.
 Main Street
- New east-west cross-access from Kirk Road to the Charlestowne Mall property.
- Public sidewalk along Kirk Road to Main Street.

A Concept Plan similar to the proposal was reviewed in Sept. 2023. Plan Commissioners provided feedback to the application, which is summarized as follows:

- Support for the land use and site layout.
- Excitement about potential restaurant uses and the building/plaza design concept.
- Support for cross-access to Charlestowne Mall via an extension of the E-W drive off Kirk Road.
- Recommendation to explore options for shared parking with the Jewel property.
- Importance of walkability between adjacent developments.
- Importance of four-sided architectural design given the visibility of the buildings.
- Importance of landscaping to enhance the parking lot and throughout the site.

The current proposal is similar in layout to the Concept Plan. The following are the more significant changes that have been made since Concept:

- Building 4 was previously shown as retail/office building. A pickleball/restaurant facility is now proposed, which has a different architectural design than Buildings 1-3.
- Addition of public sidewalk along Kirk Road to Main Street.
- Detailed plans for the plaza.

III. PLANNING ANALYSIS

Staff has analyzed the proposed development to determine compliance with applicable standards of the Stuart's Crossing PUD and the Zoning Ordinance. Plans were reviewed against the following code sections and documents:

- Ord. 1997-M-115
- Ch. 17.06 Design Review Standards & Guidelines
- Ch. 17.14 Business & Mixed Use Districts
- Ch. 17.24 Off-Street Parking, Loading & Access
- Ch. 17.26 Landscaping & Screening
- Ch. 17.28 Signs

A. Proposed Uses

Permitted uses in the Stuart's Crossing PUD are provided in Exhibit IV of Ord. 1997-M-115. Proposed uses include retail and restaurant. These uses are permitted in the PUD. The proposed pickleball facility would be classified as "Physical Culture", which is also permitted in the PUD. Under the current Zoning Ordinance, the pickleball facility would be classified as "Indoor Recreation", which is permitted in the underlying BR District.

Outdoor Sales is listed as a Special Use in the PUD. Outdoor Sales includes Outdoor Dining. Outdoor Dining is proposed for the restaurant users. As part of the PUD Amendment, Outdoor Dining would be defined as a permitted accessory use to a Restaurant. This would align with the underlying BR District zoning.

B. Site Access & Circulation

Access to the site will be via existing access points into the property. This includes right-in/right-out access from E. Main Street via the drive that runs between Old Second Bank and the former On The Border, and right-in/right-out access from Kirk Road via the driveway shared with Jewel. Cross access between the properties will be preserved.

Also proposed is extension of the E-W drive off Kirk Road, through the site to the Charlestowne Mall property. This will allow for cross-access between this development and

the mall property. In addition, a new N-S cross-access will be provided at the east end of the site.

Public sidewalk is proposed along the Kirk Road frontage of the site, extending down to the Main Street right-of-way. While sidewalk is not provided along adjacent properties, staff has requested this sidewalk to allow for future connectivity.

Within the site, sidewalk is provided along the E-W drive between Kirk and Charlestowne Mall. Crosswalks are shown at four points between the parking lot and Bldgs 1-3/plaza area. Sidewalks/plaza are also provided around the buildings.

Staff Comments:

- ✓ A cross-access easement will be needed with the Charlestowne Mall property owner to allow the E-W drive connection. The applicant is working with the mall property owner on this agreement and will provide staff with a copy once it is ready.
- ✓ A cross-access easement will be needed for the new N-S cross access to the Jewel property to the north.
- ✓ Staff has requested the applicant verify existing easements for cross-access to adjacent properties.

C. Bulk Standards / Site Plan

The table below compares the development plans with the applicable standards of the Stuart's Crossing PUD. The standards of the underlying BR District are also listed. The applicant has requested a deviation from the 50 ft. setback from Kirk Road, which is a requirement of the PUD. A deviation to allow for a parking reduction has also been requested.

Category	BR District (underlying zoning)	PUD Standard	PROPOSED
Bldg. Coverage	30%	N/A	21%
Floor Area Ratio	N/A	1.3	.21
Max. Building Height	40 ft.	N/A	Bldgs 1 & 2: 29 ft. Bldg 3: 28 ft. Bldg 4: 39 ft.
Kirk Rd. property line	Building: 20 ft. Parking: 20 ft.	Building: 50 ft. Parking/paving: 50 ft.	Building: 40 ft. Parking/paving: 40 ft.
Interior Side Yard (north & south)	Building: 15 ft. Parking: 0 ft.	Building: 0 ft. Parking/paving: 0 ft.	Buildings: North- 13 ft; South- 11 ft. Parking/paving: 0 ft.
Rear Yard (east)	Building: 30 ft. Parking: 0 ft.	Building: 20 ft. Parking/paving: 20 ft.	Building: 71 ft. Parking/paving: 20 ft.
	Restaurant: 10 per 1,000 sf GFA (364 spaces for Bldgs 1-4) Retail: 4 per 1,000 sf GFA (80	Restaurant: 15 per 1,000 sf net floor area (546 spaces for Bldgs 1-4) Retail: 4 per 1,000 sf net	434 on-site parking spaces
Parking Spaces	spaces for Bldgs 1-2) Indoor Recreation: 4 per 1,000 sf GFA (up to 121 spaces for Bldg 4)	floor area (80 spaces for Bldgs 1-2) Physical Culture: not defined, assume same as BR zoning- 121 spaces	(not including shared parking on Jewel property)
	Total required: 565 spaces	Total required: 747 spaces	

Staff Comments:

Parking:

- ✓ The applicant has requested a deviation from the PUD parking requirement for this development. A deviation would also be needed if the parking calculation were to revert to the underlying zoning. A total of 434 parking spaces are provided on-site. Under the current zoning ordinance, 565 spaces would be required. Under the existing PUD, the parking requirement would be 747 spaces.
- ✓ Shared parking with Jewel and the adjacent "Small Shops" building is contemplated. The applicant is under contract to purchase these properties. Documentation regarding shared parking arrangements among the properties will be needed.
- ✓ For reference, hours of operation of the businesses on these properties are as follows:
 - o Jewel: 6am to 12am
 - o Rosati's: 9am to 1am most days
 - Tips 2 Toes Nail Salon: 10am to 8pm most days
 - o Vacant space for lease: TBD

Site Plan:

- ✓ The foundation planting beds shown around Building 4 do not appear to reflect the location of the main entrance doors per the architectural plans.
- ✓ Staff has asked for clarification of the BMP bioretention areas A & B; will this be turf grass? Approval of the proposed BMP bioretention area will require compliance with City stormwater management requirements.
- ✓ Staff suggests the dumpster located north of Building 1 be pushed back towards the building to avoid a jog in the sidewalk and so the dumpster doors do not interfere with the vehicle drive aisle.
 - Consider eliminating the Building 1 dumpster and enlarging the Building 2 dumpster, instead.
- Existing pavement shown to remain at the SE end of the site and along the entirety of the N-S access drive south to Main Street is in poor condition. This pavement should be removed and replaced.
- ✓ Staff has asked for clarification on the proposed material for the majority of surfacing around Buildings 1 and 3; will this be concrete?
- ✓ Bollards are suggested near building corners close to drive aisles, such as for Building 4 and the existing Small Shops building.
- ✓ The location of the Bldg 4 dumpster necessitates access via the Old Second Bank property. The applicant has indicated that the dumpster will be relocated to the east side of the building.
- ✓ Staff has requested clarification regarding usage rights of the existing parking constructed for On The Border that encroaches onto the subject property.

D. Landscaping

A landscape plan has been submitted and reviewed against the requirements of Ch. 17.26 "Landscaping and Screening". The plan depicts the quantity and location of plantings, grouped into tree/shrub/grasses/perennials/groundcover categories. A plant list is included. Plantings will be selected from the plant list. The finalized selections will need to be identified on the final landscape plan submitted prior to permitting.

Landscaping is provided along Kirk Road, along the E-W access drive, within parking lot islands, around buildings, and in planters within the plaza. Parkway trees are provided between Kirk Road and the public sidewalk.

The Table below compares the applicable standards and the proposed plans. A deviation has been requested from building foundation landscaping requirements to allow for the extent and location of landscaping as shown on the plans.

Category	Zoning Ordinance Standard	Proposed
Overall Landscape Area	15%	Over 15%
Public Street Frontage Landscaping (applies to Kirk Road frontage)	75% of frontage 1 tree per 50 lineal ft. (11 trees required)	75% of frontage 11 trees
Parking Lot Screening (applies to Kirk Road frontage)	50% of parking lot to height of 30"	Over 50%
Interior Parking Lot Landscaping	1 landscape island per 10 parking spaces 1 tree per island + variety of plantings	Meets requirement See comment regarding electric transformers
Building Foundation Landscaping	50% of total building walls; 50% of front building walls; 5 ft. wide planting beds; 2 trees & 20 shrubs/bushes/perennials per 50 ft of planting bed	Bldgs 1-3: Does not meet; deviation requested Bldg 4: Meets requirement
Monument Sign Landscaping	3 ft. around signs	Landscaping needed
Refuse Dumpster Screening	Enclosed and screened on all sides when visible from public street	Screening provided, utilizing brick to match buildings

Staff Comments

- ✓ Staff suggests relocating the transformers behind Buildings 1 and 2 so that trees and plantings can be provided in the parking lot islands.
- ✓ Plantings are suggested between the EV charging stalls and sidewalk.
- ✓ Plantings are required around all freestanding signage. Freestanding signs shall be landscaped to at least 3 ft. around the outer edge of the sign base on all sides, utilizing a mixture of shrubs, grasses, and/or perennials to a height of 12" to 3 ft. at planting.

E. Building Design

Buildings in the BR District are subject to Design Review Standards and Guidelines contained in Ch. 17.06. Elevation drawings have been submitted for each building. Buildings 1-3 are designed around a unified theme, with brick as the primary façade material, stone veneer accents, varied buildings heights, and tall storefront windows. Space for art murals are identified on the rear of each building.

Building 4, the pickleball building, incorporates a barn-like design with farmhouse styling. The façade material is prefabricated metal panels, with a stone veneer knee wall. Protective netting or other barrier will be provided over the open court area on the second floor.

PUD deviations have been requested from the following design standards, in order to allow the buildings as-designed. Deviations from the following requirements will be needed:

- 1. Building facades over 100 ft. in length shall incorporate wall portions or recesses a minimum of 3 ft. in depth, extending over 20% of the façade.
 - a. Bldg 1: applies to the south and north elevations. Bump-outs are incorporated, but are less than 3 ft. in depth.
 - b. Bldg 2: applies to the west elevation. Bump-outs are incorporated, but are less than 3 ft. in depth.
 - c. Bldg 3: applies to the north and south elevations. Bump-outs are incorporated, but are less than 3 ft. in depth.
 - d. Bldg 4: applies to the north elevation. No projections/recesses are incorporated.
- 2. Facades that face a street shall have at least 2 of the following architectural features:
 - Change in wall plane of at least 2 ft.
 - Change in wall texture or masonry patterns.
 - Transparent windows
 - Columns or pilasters projecting at least 6" from the wall
 - a. Bldg 1: not met on the north elevation (side facing E-W access drive)
- 3. Roof lines should be varied with a change in height or incorporation of a major focal feature every 100 feet in building length.
 - a. Bldg 4: not met on the north or south elevation.
- 4. Certain exterior building materials are prohibited, including pre-fabricated steel panels of the type used in farm, storage, and industrial buildings.
 - a. Bldg 4: pre-fabricated metal panels are used for the exterior.

Staff Comments:

- ✓ The Bldg 2 floor plan depicts a 180'x100' footprint. The site plan shows a 195'x100' footprint. Clarification is needed.
- ✓ The Bldg 3 floor plan depicts a 190'x85' footprint. The site plan shows a 190'x75 footprint. Clarification is needed.
- ✓ Bldg 4 Staff has provided the applicant with a number of suggestions aimed at enhancing the appearance of the building due to its location in a commercial district and better integrating the building with the rest of the development:
 - Create a more well-defined building entrance on the north elevation.
 - Provide additional articulation and interest through the addition of awnings and lighting.
 - Consider doors with windows or storefront windows surrounding the barn doors.
 - Consider bumping out the building entrance to further accentuate the entrance and to provide consistency with Bldgs 1-3.
 - The windows on the north and south elevations should be larger/taller to cover more wall area and balance the elevations. A window pattern/scale/proportion similar to that of the east and west elevations could be continued on the north and south.
 - Consider adding cupolas to the roof. Perhaps three; a larger cupola at the center with a smaller cupola on each side.
 - o A higher roof pitch is suggested.
 - o The material of the roof needs to be clarified.
 - An alternative color to white may soften the appearance of the metal panels given the size of the building.
 - Clarification has been requested on the proposed finish of the metal panels.

F. Signage

The PUD Ordinance allows up to one sign on each building wall, but no more than 2 wall signs are permitted per business. The applicant has requested a PUD deviation to allow building signage in locations as shown on the building elevations, as some of the buildings will have multiple tenants. Intended sign locations are not shown on Bldg 4. The PUD would permit up to two wall signs for Bldg 4.

Allowable freestanding signage for the subject portion of the Stuart's Crossing PUD was amended under Ord. 1999-M-43. That ordinance allows off-site signage at any location within Parcel 2 of the PUD. It also allowed for two freestanding signs over 8 ft. in height, located at least 25 ft. from Main Street and 35 feet from Kirk Road. Existing freestanding signs for the Jewel and Small shops properties are located at the corner of Main & Kirk, Kirk Road entrance, and the corner of Foxfield & Kirk.

A total of four freestanding signs are proposed. The existing freestanding signs will be replaced with signs incorporating Fox Haven Square branding, with an additional sign at the cross-connection to the Charlestowne Mall property. Renderings of the signs have been provided, described as follows:

- Two-column sign on each side of the site entrances off Kirk Road and Charlestowne Mall. The columns are connected by what appears to be metal wiring. Brick base. 28 ft. in height.
- Multi-tenant sign at Foxfield & Kirk. Brick base. Two-sided. Approx. 31 ft. in height.
- Multi-tenant sign at Main & Kirk. Brick base. Two sides forming L-shape. Brick base. Approx. 34 ft. in height.

The maximum height of shopping center signs in the underlying BR District is 30 ft.

Staff Comments

- ✓ The proposed sign at the corner of Main & Kirk is located within the 20 ft. site triangle. The sign will need to be pushed back, outside of the site triangle to allow for adequate motorist visibility.
- ✓ Dimensions of the sign facades are needed for all freestanding signs.
- ✓ The location of the sign at Kirk & Foxfield needs to be clarified on a scaled site plan. It appears that this sign will replace the existing Jewel sign at this corner, but this needs to be verified.

G. Site Lighting

A photometric plan has been submitted indicating the location of pole lights and lighting levels at property lines. The plan complies with Section 17.22.040 "Site Lighting". Details on building-mounted lighting and lighting around the plaza will be required prior to permitting.

IV. DEPARTMENTAL REVIEWS

A. Engineering Review

The subject property is served by City utilities. Stormwater detention for this development was previously constructed as part of the Stuart's Crossing PUD. Permeable pavers and an above ground BMP area have been incorporated into the parking lot to provide for the additional storage needed to accommodate the development. Review comments that are

technical in nature have been provided to the applicant. Engineering comments shall be resolved prior to City Council action.

B. Electric Review

Transformer locations for the buildings have been shown on the plans, however routing of the electric infrastructure has not been shown and shall be provided for review.

C. Fire Dept. Review

The Fire Dept. has reviewed the plans and has determined that site access for emergency vehicles is adequate.

V. OPTIONS FOR PLAN COMMISSION ACTION

1. Public Hearing – Close or Continue

If the Plan Commission feels they have adequate information the public hearing may be closed. The public hearing may be continued if additional information is deemed necessary to provide a recommendation.

If Public Hearing is closed-

2. Make a Recommendation to Planning & Development Committee

There is a single finding required for the City to approve a PUD application: *Is the PUD in the public interest?* There are five Criteria to be considered to reach a decision. These 5 Criteria are:

- 1. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:
 - i. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
 - ii. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
 - iii. To encourage a harmonious mix of land uses and a variety of housing types and prices.
 - iv. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
 - v. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 - vi. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
 - vii. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies, and the community.
- 2. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:

- A. Conforming to the requirements would inhibit creative design that serves community goals, or
- B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.
- 3. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):
 - a. Public convenience: The Special Use will serve the public convenience at the proposed location;
 - b. Sufficient infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided;
 - c. Effect on nearby property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood
 - d. Effect on development of surrounding property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
 - e. Effect on general welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.
 - f. Conformance with codes: That the proposed Special Use conforms to all applicable provisions of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this title, except as may be varied pursuant to a Special Use for Planned Unit Development.
- 4. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City; and
- 5. The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.

Responses to all criteria need not be in the affirmative to recommend approval of the PUD Amendment. The applicant has provided responses to the Criteria for PUDs as part of the application materials.

There are no findings of fact pertaining to PUD Preliminary Plans. Approval is subject to meeting the applicable standards of the Zoning Ordinance and PUD Ordinance, accounting for the requested PUD deviations.

Recommendation Options:

a. Recommend approval of the application for Special Use (PUD Amendment) and PUD Preliminary Plan – Plan Commission may add additional conditions if deemed necessary by the Plan Commission to meet the PUD finding. A recommendation for approval of the PUD Preliminary Plan should be conditional upon resolution of staff comments prior to City Council action.

OR

Recommend denial of the application for Special Use (PUD Amendment) and PUD
 Preliminary Plan – Plan Commission must substantiate how the PUD finding is not being met in order to recommend denial.

VI. ATTACHMENTS

- Applications for Special Use & PUD Preliminary Plan; received 2/2/2024
- Plans

City of St. Charles Community Development Division 2 E. Main Street St. Charles, IL 60174



Phone: (630) 377-4443 Email: cd@stcharlesil.gov

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	English San St. His Company	Received Date RECEIVED	
	Fox Haven square-Straits Crossing PD	RECEIVED	
Project Number:	2023 -PR- 0 (1	FF 00 0001	
Cityview Project Number:	PLSU202400005	FEB 02 2024	
		City of St. Charles	

- File this application to request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have a question please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements prior to establishing a public hearing date.

1. Property Information:		Location: 502 N Kirk Rd			
		Parcel Number (s): 09-25-178-002;09-25-178-003			
		Proposed Name: Fox Haven Square			
2. Applicant Information:		Name: Greco Investment Management LLC	Phone: 630-577-7156		
		Address 1307 Schiferl Rd Bartlett, IL 60103	Email: pat@gsifamily.com		
3.	Record Owner Information:	Name: SVAP III Stuarts (10055). My Small Shops LLL', SVAP III Stuarts (10055) Valant Lots (LL	Phone: 323-289-6342		
		Address: 302 Datura Street, Suite 100 West Palm Beach, FL 33401	Email: pwei@sterlingorganization.com		

Special Use for Planned Unit Development - PUD Name: Stuart's Crossing New PUD Amendment to existing PUD- Ordinance #: 1997-M-115 PUD Preliminary Plan filed concurrently Other Special Use (from list in the Zoning Ordinance): Newly established Special Use Amendment to an existing Special Use Ordinance #: 5. Information Regarding Special Use: Comprehensive Plan designation of the property: Corridor/Regional Commercial Is the property a designated Landmark or in a Historic District? No What is the property's current zoning? BC Community Business District What is the property currently used for? Vacant If the proposed Special Use is approved, what improvements or construction are planned? Construction of 16,150-sf, 19,500-sf, 14,250-sf, and 20,000-sf commercial retail buildings with parking lot and outdoor plaza and outdoor seating for community use. 6. For Special Use Amendments only: Why is the proposed change necessary? Proposed revisions are required due to the concept to maximize use of property and creating outdoor space for community use. What are the proposed amendments? (Attach proposed language if necessary) Building Coverage: Requesting amendment to deviate from BR standard of 30% to 22% with a FAR of 0.22; Kirk Road Parking/Paving Setback: Requesting amendment to revise PUD standard of 50 ft to 40 ft. Parking Spaces: Requesting amendment to allow for less required spaces per floor area. Variation to off-street parking requirements.; Signage: updates as provided in application design packet.; Variations to required building foundation landscaping; variations to requirements of the Design Review Standards

4. Identify the Type of Application:

Note for existing buildings: If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

7. Required Attachments:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Provide 1 copy of each required item, unless otherwise noted.

APPLICATION FEE: Special Use for PUD: \$1,000

All other Special Use requests: \$750

REIMBURSEMENT OF FEES AGREEMENT: An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT: Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the subject property:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP: a) A current title policy report; or

b) A deed and a current title search

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

- OWNERSHIP DISCLOSURE: Use the appropriate disclosure form (attached), if the owner or applicant is a Partnership, Corporation, Trust, or LLC.
- LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.
- LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper and Microsoft Word file.
- PLAT OF SURVEY: A current plat of survey for the subject property showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.
- FINDINGS OF FACT: Fill out the attached "Criteria for Planned Unit Developments (PUDs)" form for any PUD application and the "Findings of Fact Special Use" form for all other Special Use applications.
- LIST OF PROPERTY OWNERS WITHIN 250 FT.: Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized. Property ownership information may be obtained using Kane County's interactive GIS mapping tool: https://gistech.countyofkane.org/gisims/kanemap/kanegis4 AGOx.html
- SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION: As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: http://www.kanedupageswcd.org/

V	ENDANGERED SPECIES REPORT: As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: https://dnr2.illinois.gov/EcoPublic/
	TRAFFIC STUDY: If applicable. Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.
	PLANS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov

Site Plan or plans shall show the following information:

- 1. Accurate boundary lines with dimensions
- 2. Streets on and adjacent to the tract: Name and right-of-way width
- 3. Location, size, shape, height, and use of existing and proposed structures
- 4. Location and description of streets, sidewalks, and fences
- 5. Surrounding land uses
- 6. Date, north point, and scale
- 7. Ground elevation contour lines
- 8. Building/use setback lines
- 9. Location of any significant natural features
- 10. Location of any 100-year recurrence interval floodplain and floodway boundaries
- 11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
- 12. Existing zoning classification of property
- 13. Existing and proposed land use
- 14. Area of property in square feet and acres
- 15. Proposed off-street parking and loading areas
- 16. Number of parking spaces provided, and number required by ordinance
- 17. Angle of parking spaces
- 18. Parking space dimensions and aisle widths
- 19. Driveway radii at the street curb line
- 20. Width of driveways at sidewalk and street curb line
- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

(Note- For a Special Use for PUD, submit PUD Preliminary Plan Application In lieu of Site Plan)

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

Applicant LANNING Agrite

2-1-24

Per 12/24

PECAL OWNER

Date

City of St. Charles Special Use Application

OWNERSHIP DISCLOSURE FORM LIMITED LIABILITY COMPANY (L.L.C.)

STATE OF ILLINOIS)) SS.
KANE COUNTY)
Manager of GSI Family Green Twestwent Manager of Manager of GSI Family Green Twestwent Manager of M
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:
Greco PG Five LLC
Greco EG Three LLC
By: Manager
Subscribed and Sworn before me this day of
January 2024
CHRISTINE SCIMECA OFFICIAL SEAL Notary Public - State of Illinois My Commission Expires Apr 05, 2025
Notary Public

OWNERSHIP DISCLOSURE FORM LIMITED LIABILITY COMPANY (L.L.C.)

Florida State of Ichnobs Alm Beach and ISS. Kame County I, Lordan Fried being first duly s	worn on oath depose and say that I am
SVAPIL Stuarts Crossing, LLC Manager of SVAPIL Stuarts Crossing Small Shi SVAPIL Stuarts Crossing Vacant U Company (LLC) and that the following parages are	ps, uc , an Himois Limited Liability
Company (L.L.C.), and that the following persons are	式。 ル all of the members of the said L.L.C.:
Sterling Value Add Investment	III, LLC, a Delaware
limited liability company	v. its sole Member
,	
By: A Manager	
Subscribed and Sworn before me this 13	day of
Febonary 20 24.	MELISSA L. KAJEEJIT Commission # HH 18912† Expiros January 15, 2026 Expiros January 15, 2026 Bended Thu Troy Fain Insurance 800-385-7019
Mycifit) Notary Public	THE

SVAP III Stuarts Crossing, LLC SVAP III Stuarts Crossing Small Shops, LLC SVAP III Stuarts Crossing Vacant Lot, LLC c/o Sterling Retail Services, Inc.

February 1, 2024

To Whom It May Concern:

On behalf of the ownership, this letter shall serve as an authorization for Greco Investment Management, LLC and its affiliates to file for Special Use and PUD Preliminary Plan approval with the City of St. Charles for the subject parcels (tax ID #09-25-178-002 and #09-25-178-003).

Sincerely,

Name: Jordan Fried Title Vice President

Telephone: (561) 835-1810

WARE MALCOMB

ARCHITECTURE
PLANNING
INTERIORS

CIVIL ENGINEERING BRANDING BUILDING MEASUREMENT

May 1, 2024

Ms. Ellen Johnson

City of St. Charles - Community Development Department Two East Main Street St. Charles, IL 60174 ejohnson@stcharlesil.gov

Application for Completeness Review for Fox Haven Square

Dear Ms. Johnson,

We are in receipt of your email review dated April 30th, 2024 which highlighted items needed to amend the previously submitted application for the Special Use and PUD Amendment for the Fox Haven Square project within the Stuart's Crossing PUD in St. Charles, IL. This letter is intended to outline the following requested variances to the planning and zoning standards:

- We are requesting to reduce the parking setback along Kirk Rd. to under 50 ft. According to the staff report dated September 6th, 2023, a 50 ft. setback is consistent with the Jewel property, a reduced setback could be appropriate it the setback is sufficiently landscaped.
- 2. The proposed number of parking spaces has been reduced to a total below the current PUD parking requirement. The required parking is being satisfied by the shared parking between adjacent uses. Current parking codes allow Shared Parking calculations based on hours of operations.
- 3. Building facade mounted signage and new ground sign conceptual designs are included
- 4. We are requesting a variance on PUD required building foundation landscaping however have added to other areas of the site to offset these totals.
- 5. We request a variance to the Design Review Standards for Building #4 elevations.

We are very excited to bring this fantastic vision to fruition in St. Charles. If you have any questions or comments we will happily be available to discuss further.

Best regards,

Ware Malcomb

Jason Golub, AIA Regional Director

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDS)

Use this form for PUD or PUD Amendment applications

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether the proposed Planned Unit Development is in the public interest. As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

PUD Name: Stuarts Crossing/Fox Haven Square

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

- The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:
 - To promote a creative approach to site improvements and building design that results in a
 distinctive, attractive development that has a strong sense of place, yet becomes an integral
 part of the community.
 - To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
 - To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

The site improvements are proposed on vacant land which is under utilized in a highly commercial area of the City. These buildings and improvements will attract additional businesses and serve the City and surrounding communities. There is a proposed outdoor plaza and seating area which will promote social interaction. In addition, the increased consumer traffic will improve the accessibility to existing businesses in the area, bringing in increased activity and revenue to the City.

- ii. The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:
 - A. Conforming to the requirements would inhibit creative design that serves community goals, or
 - B. Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

- The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.
- The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
- 3. The PUD will provide superior landscaping, buffering or screening.
- 4. The buildings within the PUD offer high quality architectural design.
- 5. The PUD provides for energy efficient building and site design.
- 6. The PUD provides for the use of innovative stormwater management techniques.
- The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
- The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
- 9. The PUD preserves historic buildings, sites or neighborhoods.

The amendment to the PUD will provide additional community amenities in the form of an outdoor plaza/seating area which will promote increased social interaction. Proposed landscaping will provide natural feels and proposed permeable pavers within the parking lot promote positive stormwater management techniques.				

The site is surrounded by existing commercial retail which is currently serving the public. The improvements will increase public usage and convenience.
Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary
utilities have been, or are being, provided. The project site was originally part of the Stuart's Crossing PUD, which provided detention and infrastructure for future development.
Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoym of other property in the immediate vicinity for the purposes already permitted, nor
substantially diminish or impair property values within the neighborhood. The site is surrounded by existing commercial retail. The proposed commercial buildings will nimpact the surrounding businesses in a negative way.
Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
The site is surrounded by existing commercial retail, therefore will not impede on normal and orderly development of the surrounding property

iii. The proposed PUD conforms with the standards applicable to Special Uses (Section 17.04.330.C.2):

	The site is within an existing commercial area, therefore will not change the demographics of the surrounding businesses and will not be detrimental to the public
F.	Conformance with Codes: That the proposed Special Use conforms to all applicable provision of the St. Charles Municipal Code and meets or exceeds all applicable provisions of this Title,
	except as may be varied pursuant to a Special Use for Planned Unit Development. The development will conform to existing and approved provisions as applicable to the existing PUD and the City codes.
The	proposed PUD will be beneficial to the physical development, diversity, tax base and
eco	nomic well-being of the City. proposed development will utilize vacant space to attract additional businesses which can be
1110	
rev	ressed by the City and surrounding communities. This will attract consumers and bring additional enue to the City.
rev	essed by the City and surrounding communities. This will attract consumers and bring additional enue to the City.
The The	proposed PUD conforms to the purposes and intent of the Comprehensive Plan. proposed commercial retail development is within an existing commercial area of the City,
The The	persed by the City and surrounding communities. This will attract consumers and bring additional enue to the City.
The The	proposed PUD conforms to the purposes and intent of the Comprehensive Plan. proposed commercial retail development is within an existing commercial area of the City,

City of St. Charles
Community Development Division
2 E. Main Street
St. Charles, IL 60174



Phone: (630) 377-4443 Email: cd@stcharlesil.gov

PUD PRELIMINARY PLAN APPLICATION

For City Use

Project Name:

ExHaven square - structis Crossing PUD

Project Number:

2023 -PR- 011

Cityview Project Number: PLPU020240000 (

Received Date
RECEIVED

FEB 02 2024

City of St. Charles

- File this application to request approval of a PUD Preliminary Plan. Normally, this application is reviewed concurrently with an application for Special Use for PUD, unless a Special Use for PUD has previously been granted and no amendment is necessary.
- Complete the application and submit with all required attachments to the Community Development Division.
- The information you provide must be complete and accurate. If you have any questions please contact the Community Development Division.
- City staff will review the submittal for completeness and for compliance with applicable requirements. Staff will
 distribute the plans to other City departments for review when the application is complete.
- The PUD Preliminary Plan will be scheduled for Plan Commission review when staff has determined the plans are ready.

1.	Property Information:	Location: 502 N Kirk Rd		
		Parcel Number (s): 09-25-178-002;09-25-178-003		
		Proposed PUD Name: Fox Haven Square		
2.	Applicant Information:	Name: InV/Stinet Greco Invesment Management LLC	Phone: 630-577-7156	
		Address 1307 Schiferl Rd Bartlett, IL 60103	Email: pat@gsifamily.com	
3.	Record Owner Information:	Name: SUAP III Stuarts LEDSSing Small Shors LLI SUAP III Stuarts LEDSSing Valant LDT LLL	Phone: 323-289-6342	
		Address: 302 Datura Street, Suite 100 West Palm Beach, FL 33401	Email: pwei@sterlingorganization.com	

4. <u>Ident</u>	illy the Type of Ap	plication:				
-	cisting Planned Unit	Development (PUC	0)		be filed concurrently	
						,
Subdiv						
-		ady been platted ar		on is not required.	•	
L N	ew subdivision of p	roperty is required:				
	Final Plat of S	ubdivision Application	on filed concurren	tly		
	Final Plat of S	ubdivision Application	on to be filed later			
If mul or pla	ns. Fee must be paid		n.	oncurrently, do no	t submit duplicate ch	ecklist items
APPLI	CATION FEE: \$500					
REIME	SURSEMENT OF FFF	S AGREEMENT: An	original, executed	Reimhursement of	f Fees Agreement and	d denosit of
		City, as provided by				u deposit of
_						
REIME	URSEMENT OF FEE	S INITIAL DEPOSIT:	Deposit of funds i	n escrow with the	City. Required deposi	it is based on
review		applications filed) an	nd the size of the s	ubject property:		
	Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres	
	1	\$1,000	\$2,000	\$3,000	\$4,000	
	2 or 3	\$2,000	\$4,000	\$5,000	\$7,000	
	4 or more	\$3,000	\$5,000	\$7,000	\$10,000	
NOTE: City's Z proper covena	Private covenants and oning Ordinance may by to determine if ther nts and deed restriction	authorize the use or a e any private covenan	rent title search limit private propen less restrictive use. ts containing use res the City's Zoning Ora	We strongly advise t strictions or other de linance, it is further r	to the use of land ever that you perform a title ed restrictions. As those recommended that you	search on the private
an atto	rney to obtain an opii	non with respect to wi	netner your intended	a use is compatible w	ith those restrictions.	
	RSHIP DISCLOSURE rship, Corporation,		te disclosure form	(attached), if the	owner or applicant is	а
LETTER OF AUTHORIZATION: If the property owner is not the applicant, an original letter of authorization from the property owner permitting the applicant to file the zoning application with the City of St. Charles for the subject property.						
LEGAL	DESCRIPTION: For	entire subject prope	erty, on 8 1/2 x 11	inch paper and Mi	crosoft Word file.	
		nt plat of survey for gistered Illinois Prof			sting improvements o	on the

2

	SOIL AND WATER CONSERVATION DISTRICT LAND USE OPINION APPLICATION: As required by State law, submit a Land Use Opinion application and required fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy of completed Land Use Opinion application to the City. The Land Use Opinion application can be found on the Kane-DuPage SWCD website: http://www.kanedupageswcd.org/
	ENDANGERED SPECIES REPORT: As required by State law, file an Endangered Species Consultation Agency Action with the Illinois Department of Natural Resources. Provide a copy of the report to the City. The online Ecological Compliance Assessment Tool (EcoCAT) should be utilized: https://dnr2.illinois.gov/EcoPublic/
1	STORMWATER MANAGEMENT: Written information as described in the Stormwater Management Requirements for Preliminary Plans (attached).
1	PUBLIC BENEFITS, DEPARTURES FROM CODE: A written statement describing how the PUD meets the purposes and requirements established in Section 17.04.400 of the Zoning Ordinance. List any requests for deviations (departures) from the requirements of Title 16 "Subdivisions and Land Improvement" and Title 17 "Zoning" and provide a rationale for each requested deviation.
✓	 CONSTRUCTION SCHEDULE: Indicate the following: Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the Plat of Subdivision and through supporting material. Approximate dates for beginning and completion of each phase.
	PARK AND SCHOOL LAND/CASH WORKSHEETS: For residential developments only. Use the attached worksheet to calculate the estimated population and student yields and resulting land/cash contributions in accordance with Title 16 of the St. Charles Municipal Code.
	INCLUSIONARY HOUSING WORKSHEET: For residential developments only. Use the attached worksheet to calculate the affordable unit requirement and indicate how the development will comply with Title 19 of the St. Charles Municipal Code.
Dev plar to s	NS: All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community relopment permits a larger size when necessary to show a more comprehensive view of the project. All required as shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used how details or specific features). All plans shall include the name of the project, developer or owner of site, person firm preparing the plan, and the date of plan preparation and all revisions.
	Copies: Ten (10) full size copies, one (1) 11" by 17", and PDF electronic file emailed to: cd@stcharlesil.gov
	PRELIMINARY PLAT OF SUBDIVISION / DRAWING REQUIREMENTS CHECKLIST: If the PUD Preliminary Plan involves the subdivision of land, submit a Preliminary Plat of Subdivision that includes the information listed on the Subdivision Plat Drawing Requirements Checklist. Also submit a completed Subdivision Plat Drawing Requirements Checklist (attached).
	PRELIMINARY ENGINEERING PLANS / DRAWING REQUIREMENTS CHECKLIST: Plans shall include the following information. Also submit a completed Drawing Requirements Checklist- Preliminary Engineering Plans. 1. Accurate boundary lines with dimensions 2. Existing and proposed easements: location, width, purpose 3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts 4. Location, size, shape, height, and use of existing and proposed structures

- 5. Location and description of streets, sidewalks, and fences
- 6. Surrounding land uses
- 7. Legal and common description
- 8. Date, north point, and scale
- 9. Existing and proposed topography
- All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the proposal indicated
- 11. Location of utilities
- 12. Building/use setback lines
- 13. Location of any significant natural features
- 14. Location of any 100-year recurrence interval floodplain and floodway boundaries
- 15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
- 16. Existing zoning classification of property
- 17. Existing and proposed land use
- 18. Area of property in square feet and acres
- 19. Proposed off-street parking and loading areas
- 20. Number of parking spaces provided, and number required by ordinance
- 21. Angle of parking spaces
- 22. Parking space dimensions and aisle widths
- 23. Driveway radii at the street curb line
- 24. Width of driveways at sidewalk and street curb line
- 25. Provision of handicapped parking spaces
- 26. Dimensions of handicapped parking spaces
- 27. Depressed ramps available to handicapped parking spaces
- 28. Location, dimensions and elevations of freestanding signs
- 29. Location and elevations of trash enclosures
- 30. Provision for required screening, if applicable
- 31. Provision for required public sidewalks
- 32. Certification of site plan by a registered land surveyor or professional engineer
- 33. Geometric plan showing all necessary geometric data required for accurate layout of the site
- 34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
- 35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
- 36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
- 37. Typical construction details and specifications
- 38. Certification of site engineering plans by a registered professional engineer
- 39. Proof of application for Stormwater Management Permit

✓	and type of dwelling units, the proposed uses of nonresidential and mixed-use buildings, total floor area and total building coverage of each building.	
	TREE PRESERVATION PLAN: When required, in accordance with Ch. 8.30 of the St. Charles Municipal Code (see attached "Tree Preservation Requirements for Preliminary Plans". This information may be included as part of the Landscape Plan set.	
1	LANDSCAPE PLAN: Landscape Plan showing the following information:	

- Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
- Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
- Accurate property boundary lines
- Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
- Site area proposed to be landscaped in square feet and as a percentage of the total site area
- Percent of landscaped area provided as per code requirement
- Dimensions of landscape islands
- Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
- Location and identification of all planting beds and plant materials
- Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species

· Landscaping of ground signs and screening of dumpsters and other equipment

	SKETCH PLAN FOR LATER PHASES following:	OF PUD: For phased PUDs only, submit a plan that show	ws, at minimum, the
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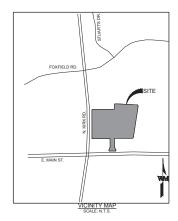
- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- · Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

I (we) cerafy that this application and the documents sub	mitted with it are true and correct to the best of my (our)
knowledge and belight.	
WIA	24-24
Apprount/Armited	tro Date
y like mon haloning	
4	212124
Applicant or Authorized Agent	Date
PEURD OWIER	

City of St. Charles PUD Preliminary Plan Application

PRELIMINARY ENGINEERING PLANS FOX HAVEN SQUARE

502 N. KIRK RD. ST. CHARLES, IL 60174



ABBREVIATIONS

MANHOLE NATURAL GROUND

EVIATIONS

AGGREGATE BASE
ASPHALT CONCRETE
BACK FLOW VALVE

GENTERLINE
CLEANOUT
DEEPPRED FOOTING
DUCTLE BOOK POPE
BLOCK FLOW OF THE ASSEMBLY
EAST-BACK
FROM THE ASSEMBLY
E OC
PB
PC
PB
PC
PLP
(RAD)
RC
RC
RCP
RCW
SD/STRM
STA
SS/SAN
TG
SS/SAN
TG
TC
TOP
TOV
TYP
VIF
WM
WSEL
WV PULL BOX PORTLAND CEMENT CONCRETE PROPERTY LINE POLYVINYL CHLORIDE PIPE RADIUS POLYVINY_CHLORIDE PIPE
RADIUS
RADIUS
REINFORCED CONCRETE PIPE
W RICHT OF WAY
1 STORM DRAIN
1 STORM
1 STORM FINISHED GRADE FIRE HYDRANT FINISH FLOOR ELEVATION FINISHED GRADE FINISH GRADE AT WALL FINISH GRADE AT WALL
FLOW LINE
FINISHED SURFACE
GRADE BREAK
GRADE AT BOTTOM OF WALL
GRADE AT BOTTOM OF WALL
GRADE AT TOP OF WALL
GAS WETER
GAS WALVE
HIGH POINT
LOW FOINT
INVERT
LINEAR FEET
MATCH EXISTING
MANHOLE

SHEET INDEX

Sheet Description
C1.0-COVER SHEET
C1.1-GENERAL NOTES
C2.0-EXISTING CONDITIONS & DEMOLITION
C3.0-PRELIMINARY SITE PLAN
C4.0-PRELIMINARY STREPLAN
C4.0-PRELIMINARY EROSION CONTROL
C8.0-PRELIMINARY EROSION CONTROL
C7.0-PRELIMINARY UTILITY PLAN SHEET NUMBER

AGENCY CONTACT LIST

OWNER/DEVELOPER
GSI FAMILY INVESTMENTS
OF AZ, LLC
1307 SCHIFERL ROAD
BARTLETT, IL 60103
630.577.7156
CONTACT: EDDIE GRECO

CIVIL ENGINEER
WARE MALCOMB
1315 22ND ST #410
OAK BROOK, IL 60523
630.218.0063
CONTACT: JON GRZYWA

ARCHITECT WARE MALCOMB 1315 22ND ST #410 OAK BROOK, IL 60523 630.218.0063

PROJECT BENCHMARK

TBM #1 TBM #2 NORTHING: 1914551.22' NORTHING: 1914454.48' EASTING: 1000550.93' ELEVATION: 782.95' CF: 0.99994308 EASTING: 1000115.86' ELEVATION: 782.82' CF: 0.99994308

VALUES SHOWN HEREON ARE FROM NGS OPUS SOLUTION REPORTS GENERATED FROM STATIC GPS OBSERVATIONS, PREFORMED ON BOTH TEMPORARY BENCHMARKS. DATE OF OBSERVATION: 10/24/2023

HORIZONTAL DATUM: SPC83 (1201 II F) VERTICAL DATUM: NAVD88 (GEOID18)

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATES (1201 IL E), AS DETAILED IN NGS OPUS SOLUTION REPORTS FOR TBM #1 & TBM #2.

LEGAL DESCRIPTION
THE FOLLOWING LOT LOCATED IN ST. CHARLES, KANE COUNTY, ILLINOIS:

PARCEL 1:

LOT 4 IN STUART'S CROSSING RETAIL BEING A SUBDIVISION OF PART OF THE MORTHWEST X OF SECTION 25, FOUNSHIP 4 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED SEPTEMBER 15, 1998 AS DOCUMENT 98K083752, IN KANE COUNTY, ILLINOIS.

PARCEL 2: RIGHT OF PARCEL : CREATES PY AND RIGHTS FOR SENERT OF PARCEL : CREATES BY AND RIGHTS FOR PIECE ON THE CONSTRUCTION, OFFRATOR AND RECOPPOOL BESIDENT AGREEMENT (FIRST) RECORDED SEPTEMBER 11, 1986 AS DOCUMENT 99/002447 FOR THE PARCOS OF 01) PARRONG OF PASSENGE VEHICLES (2) VEHICULAR, AND PRESSTRIAM PASSAGE 0) CONNECTION WATER, TELEPHONE, ELECTRIC LIBES, CONQUITS, TRANSMISSION AND OTHER SMILLAR UTILITY FACILITIES AND (3) TRANSMISSION AND OTHER SMILLAR UTILITY FACILITIES AND (4) DEPARCHMENT OF STORM WATER.

SURVEY INFORMATION
THESE PLANS AND THE ABOVE INFORMATION ARE BASED
ON A PRELIMINARY SURVEY BY AMERICAN SURVEYING &
MAPPING, INC. PROVIDED TO WARE MALCOMB ON
11/02/2023.



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

MALCOMB WARE LEADING DESIGN F

در ا 60523 م, ا 60523 م. مال

INARY ENGINEERING 502 N KIRK RD. F. CHARLES, IL 60174 SQUARE HAVEN 8 **PRELIMINARY** FOX

ST.

Ö.					
OB NO.:	CHI23-0124				
A / PM:	J. GRZYWA				
ESIGNED:	T. SNOW				
ATE:	1-19-24				
LOT DATE:	04/18/24				

- 2 DO NOT SCALE DRAWINGS
- THE CITY OF ST. CHARLES STANDARDS SUPERCEDE ALL OTHERS. THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 48 HOURS PRIOF
- THE CONTRACTOR SHALL EXAMINE THE PLANS AND SPECIFICATIONS. VISIT THE CONTROLLOW SYMAL EXAMINE THE PLANS AND SPECIFICATIONS, VISIT THE SITE OF THE WORK, AND INFORM HIMSELF FULLY WITH THE WORK INVOLVED, GENERAL AND LOCAL CONDITIONS, ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND ALL OTHER PERTINENT TERMS WHICH MAY AFFECT THE COST AND TIME OF COMPLETION OF THIS PROJECT BEFORE SUBMITTING A PROPOSAL PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROSECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK, ANY DISCREPANCIES FOUND SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER AND NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND A RESPONSE PROVIDED BY THE ENGINEER.
- THE ACCURACY AND COMPLETE INCLUSION OF THE LOCATIONS OF EXISTING FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS, ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER, OWNER, AND UTILITY OWNER, BY THE CONTRACTOR AT HIS OWN EXPENSE.
- OPEN EXCAVATION WITHIN THE PAVEMENT OR PARKWAY SHALL NOT BE OFFER EAGNATION WITHIN THE PAVENERIN OF PARKINAT SHALL NOT BE LEFT OVER A WEEKEND, HOLDRY, OR AFTER 3 P.M. ON THE DAY PRECEDING A WEEKEND OR HOLDRY, OR ANY TIME THE EXCAVATION CANNOT BE SUPERVISED AND SECURED TO THE SATISFACTION OF THE ENGINEER AND AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL RESTORE ANY AREA DISTURBED TO A CONDITION EQUAL TO OR BETTER THAN ITS ORIGINAL USE. THIS SHALL INCLUDE FINISH GRADING, ESTABLISHMENT OF A VEGETATIVE COVER (SEEDING OR SOD) AND GENERAL CLEANUP. THE CONTRACTOR SHALL NOT EXCAVATE OR DISTURB BEYOND PROPERTY LINE BOUNDARIES, UNLESS OTHERWISE
- ALL LOT IRONS DAMAGED OR REMOVED DURING CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY THE ENGINEER AND SAID COST OF REPLACEMENT SHALL BE PAID BY THE CONTRACTOR
- 10. ALL SITE IMPROVEMENTS, INCLUDING STORM WATER DRAINAGE (BUT NOT WATER MAIN AND SANITARY SEWER) SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION", ADOPTED JAN 1, 2022 WITH ALL SUBSEQUENT SUPPLEMENTS, AND LOCAL JURISDICTIONAL REQUIREMENTS. IN CASE OF CONFLICT, THE LATTER SHALL TAKE
- 11. ALL SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOS", LATEST EDITION, UNLESS OTHERWISE NOTED.
- ALL MANHOLES AND VALVE VAULTS SHALL HAVE "SANITARY", "STORM" OR "WATER" CAST INTO THE CAST IRON LIDS, AS APPROPRIATE.
- 13. ALL SEWERS AND WATER MAINS WHICH FALL WITHIN THREE FEET OF EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH AGGREGATE CA 8 OR OTHER APPROVED GRANULAR MATERIAL THE GRAVEL TANCE OF 2'-0" BEYOND THE PAVEMENT AND EXTEND DOWN FROM THAT POINT AT A 1:1 SLOPE, AWAY FROM THE PAVEMENT
- "BAND-SEAL" CONNECTORS, OR EQUAL, SHALL BE USED TO JOIN PIPES OF DISSIMILAR MATERIALS
- 15 ALL NEW AND EXISTING STRUCTURES ON SITE AND IN AREAS TO BE ALL NEW MOD EXISTING SI RUCL UNEX ON SITE AND IN AMEAS TO BE UDISTURBED EXISTING CONSTRUCTION SHALL BE ADJUSTED TO RINHER ORADE PRIOR TO FINAL INSPECTION OF THE MOORE. ADJUSTMENTS UPWARD SHALL BE MADE USING PRECAST CONCRETE ADJUSTMENT RINKS, BUT NO MORE THAN 8" OF RINKS SHALL BE USED. IF THE TOTAL HEIGHT OF ALL ADJUSTMENTS EXCEEDS 8", THE TOTAL HEIGHT OF ALL ADJUSTMENTS SHALL BE WAS THE TOTAL HEIGHT OF ALL ADJUSTMENTS SHALL BE MADE BY THE TOTAL HEIGHT OF ALL THE MODE SHALL SHALL BY THE TOTAL HEIGHT OF ALL THE MODE SHALL SHALL BY THE TOTAL HEIGHT OF ALL THE MODE SHALL SHALL BY THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF THE TOTAL HEIGHT OF ALL THE TOTAL HEIGHT OF THE INTERCHANGING AND/OR ADDING/REMOVING COMPLETE BARREL SECTIONS TO ACHIEVE DESIRED ELEVATIONS.
- 16 WHENEVER A SEWER CROSSES LINDER A WATER MAIN THE MINIMUM. VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN SHALL BE 18 INCHES. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN ALL SEWERS AND SERVICES AND WATER MAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN A TRENCH WITH THE WATER MAIN LOCATED AT THE OPPOSITE SIDE ON A RENCH OF LINDISTLIRRED FARTH KEEPING A MINIMUM OF 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES SEPARATION. IF ETHER THE VEHTICAL ON MOUTON AL DISTANCES DESCRIBED ABOVE CANNOT BE MAINTAINED, OR THE SEVER CROSSES ABOVE THE WATER MAIN, THEN WITHIN A DISTANCE OF 10 FEET ON EITHER SIDE OF THE WATER MAIN, THE SEWER PIPES SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED
- MITS AND LICENSES OF A TEMPORARY NATURE NECESSARY F ISECUTION OF THE WORK SHALL BE SECURED AND PAID FOR E ITRACTOR. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR CALL THE ATTENTION OF THE ENGINEER TO ANY MATERIAL OR EQUIPMEN HE DEEMS INADEQUATE AND TO ANY ITEM OF WORK OMITTED
- THE CONTRACTOR WILL HAVE IN HIS POSSESSION, ON THE JOB SITE, A COPY OF THE PLANS AND SPECIFICATIONS PRIOR TO BEGINNING WORK
- 19. A LICENSED WELL DRILLER SHALL CAP ALL WELLS IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS. CERTIFICATES SHALL BE FURNISHED SUBMITTED AND APPROVED BY THE APPROPRIATE HEALTH DEPARTMENT PRIOR TO ACCEPTANCE OF THE WORK.

WM NOTES: PAVEMENT & CONCRETE CONSTRUCTION NOTES

- 1. ALL SITE IMPROVEMENTS. INCLUDING STORM WATER DRAINAGE (BUT NOT ALL SITE INFOVEMENTS, INCLUSING STORM WATER PRIMINAGE (BUT WATER MAIN AND SANITARY SEWER) SHALL BE CENTERCITED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS OF TRADS AND BRIDGE CONSTRUCTION OF THE STANDARD SECURITY SECUR ENTS. IN CASE OF CONFLICT. THE LATTER SHALL TAKE PRECEDENCE
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL
- 3. ALL CURBS CONSTRUCTED OR REPLACED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #4 REBAR FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH, SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE #6 REBAR
- ALL PROPOSED ELEVATIONS SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS UNLESS NOTED OTHERWISE.
- 5 ALL RADII ARE TO THE BACK OF CURB AND ARE NOTED ON THE PLANS.
- 6. CONTRACTION JOINTS SHALL BE CONSTRUCTED AT TEN (10) FOOT MINIMUM INTERVALS. THE GRANULAR CURB BASE SHALL BE A MINIMUM OF THREE (3) INCHES OF 38" TO 34" OPEN GRADED GRANULAR MATERIAL TO ALLOW FOR PROPER SUBGRADE DRAINAGE. COMPACTED CURB SUBGRADE SHALL BE SHAPED PARALLEL TO THE CURB FLOW LINE AND POSITIVELY DRAINED TO
- 7. EXPANSION JOINTS SHALL BE REQUIRED AT ALL POINTS OF CURVATURE, AT BOTH SIDES OF ALL DRAINAGE STRUCTURES, AND ALL LOCATIONS WHERE THE SIDEWALK ABUTS THE CONCRETE CURB AND GUTTER.
- CURB AND GUTTER SHALL BE CONSTRUCTED AND TIED INTO EXISTING P.C.C. PAVEMENT IN ACCORDANCE WITH I.D.O.T. STANDARDS 606001 AND 420001.
- ALL CONCRETE CURB AND GUTTER AND SIDEWALKS SHALL BE CURED WITH W.R. MEADOWS CS-309 CURING COMPOUND OR APPROVED EQUAL.
- 10. ALL CONCRETE CURB AND GUTTER SHALL BE SEALED WITH W.R. MEADOWS T1A44 SEALANT OR APPROVED EQUAL, IMMEDIATELY AFTER SEVEN (7) DAYS OF CURING AT A RATE OF 300 S.F. PER GALLON UTILIZING A SPRAY APPLICATION. THE SURFACE MUST BE THOROUGHLY CLEAN AND DRY OF
- ALL PUBLIC SIDEWALKS SHALL BE CONSTRUCTED OF CLASS SI CONCRETE 5" THICK. BASE SHALL BE FOUR INCHES (4") OF COMPACTED CRUSHED STONE (CA-6).
- 12. WHERE NEW PAVEMENT MEETS EXISTING BITUMINOUS CONCRETE OF WHERE NEW PAYEMENT MEETS EXISTING BITUMINOUS CONCRETE OR PORTLAND CEMENT CONCRETE PAYEMENTS, A CUT JOINT OF TRANSITIONAL EINGTH NO LESS THAN TEN (10) FEET WILL BE REQUIRED. THE SUBGRADE SHALL BE GRADED PARALLET OT HE FINAL SURFACE GRADES AS SUCH, SHALL BE GRADED PARALLET OF THE FINAL SURFACE GRADES AS SUCH, SHALL BRAIN TO THE CURB LINE AND TO THE INLETS AND CATCH BASINS. POSITIVE DRAINAGE MUST BE ACCOMPLISHED ON THE COMPACTED. SURCEADE OF THE PLACEMENT OF BASE MATERIAL WILL BE ALLOWED
- 13. THE INSTALLATION OF THE BITUMINOUS SURFACE COURSE SHALL BE DELAYED UNTIL THE BASE COURSE IS "PROOF ROLLED" BY THE CONTRACTOR, AT HIS COST, TO THE SATISFACTION OF THE ENGINEER
- 14 FLOWARI F FILL SHALL BE USED IN THE RIGHT-OF-WAY

WM NOTES: STORM SEWER CONSTRUCTION NOTES

- 1022, AND REVISIONS THERETO, THE NOTES IN THE PLANS, AND IN ACCORDANCE WITH THE ORDINANCES OF THE AUTHORITY HAVING
- ALL STORM SEWERS 12"-60" SHALL BE REINFORCED CONCRETE PIPE (RCP), CONFORMING TO ASTM C-76, CLASS V, WITH JOINTS CONFORMING TO ASTM C-443 OR HIGH DENSITY POLYETHYLENE (HDPE) CONFORMING TO ASTM F2306 WITH JOINTS CONFORMING TO ASTM F477.
- UNLESS SHOWN OTHERWISE, ALL 10" AND SMALLER STORM SEWER SHALL BE POLYVINYL CHLORIDE (PVC) SDR-26 CONFORMING TO ASTM D-3034 WIT JOINTS CONFORMING TO ASTM D-3212. WHERE SPECIFIED ON THE PLANS WATER MAIN QUALITY PVC SHALL CONFORM TO ASTM D-2241 WITH JOINTS
- ALL MANHOLES AND INLET STRUCTURES SHALL BE PRECAST REINFORCED CONCRETE, ASTM DESIGNATION C-478.
- 5. EXISTING FIELD TILE ENCOUNTERED AT AN ELEVATION ABOVE THE PROPOSED DRAINAGE SYSTEM SHALL BE CONNECTED TO THE DRAIN. SYSTEM BY A METHOD APPROVED BY THE ENGINEER. THE COST OF T WORK SHALL BE CONSIDERED INCIDENTAL TO THE COST OF
- EXISTING FIELD TILE ENCOUNTERED AT AN ELEVATION BELOW THE PROPOSED DRAINAGE SYSTEM SHALL BE REPLACED BY A METHOD APPROVED BY THE ENGINEER. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION.
- 7. ALL DOWNSPOUTS AND FOOTING DRAIN SHALL DISCHARGE ONTO THE

WM NOTES: SANITARY SEWER CONSTRUCTION NOTES

- 1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS*, LATEST EDITION, AND REVISIONS THERETO, THE NOTES AND ON THE PLANS, AND IN ACCORDANCE WITH CODES AND ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.
- THE SANITARY SEWER AND SERVICE SHALL BE CONSTRUCTED O THE SANITARY SEWER AND SERVICE IN STRUCKE OF THE SANITARY SEWER AND SERVICE OF THE ACCORDINACE WITH ASTAID A 3034 FOR PIPE AND ASTAID A 3212 FOR JOHN'S FOR PIPE DIMERTERS FROM 6"TO 15". AND THE STANDARD DIMERSION RATIO (SDR) SHALL BE 20 FOR DUCTILE IRON PIPE CLASS 22 WITH SERVEN SHALL BE 20 FOR DUCTILE IRON PIPE CLASS 22 WITH SERVEN SHALL BE 20 FOR DUCTILE IRON PIPE CLASS 22 WITH SERVEN SHALL BE 20 FOR SHALL BE
- ALL SANITARY SEWER MANHOLES SHALL BE PROVIDED WITH APPROVED CAST IN PLACE RUBBER BOOTS THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED OVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- BAND SEAL, OR SIMILAR COUPLINGS SHALL BE USED IN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS.
- 5. ALL MANHOLE COVERS SHALL HAVE THE WORD "SANITARY" CAST INTO THE TOP AND SHALL BE THE CONCEALED PICKHOLE TYPE. ALL COVERS USED FOR SANITARY SEWERS SHALL HAVE A MACHINED SUBFACE AND A WATERTICHT RUBBER GASKET SEAL ALL MANHOLE FRAMES SHALL BE SET WITH BUTYL ROPE JOINT SEALANT.
- ALL FINAL ADJUSTMENTS OF CASTINGS WILL BE ACCOMPLISHED BY THE LISE
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE. TEE OR AN EXISTING MANHOLE. ONE OF THE FOLLOWING
- AN EXISTING WYE, IEE OR AN EAST IND MARKHADE, WHE OF THE SECTION
 METHODS SHALL BE USED.

 CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOL 'SEWER TAP
 MACHINE OR SMILLAR) AND PROPER INSTALLATION OF HUB-WYE
 SADULE OR HUB-TEE SADDLE.

 REMOVE AR ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF 7.2.
- ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION WITH A PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- SANITARY SEWER SERVICES SHALL BE CONSTRUCTED ACCORDING TO THE SANTIARY SEVER SERVICES SHALL BE CONSTRUCTED ACCORDING IL DETAILS IN THE PLANS AND THE EXACT LOCATION OF EACH SHALL BE DETERMINED IN THE FIELD. THE CONTRACTOR SHALL FURNISH RECOR DRAWINGS OF SANTFARY SEWER SERVICES AT THE COMPLETION OF CONSTRUCTION, BASED ON MEASUREMENTS PROVIDED BY THE
- A RED TIPPED 4"X4"X6" POST SHALL BE PLACED VERTICALLY IN THE GROUND AT SERVICE TERMINATION, 4" OUT OF THE GROUND.
- 10 ALL SANITARY SEWER AND SERVICES TO HAVE STONE REDDING 1/4" TO 1" IN ALL SARI/AY SEVERE AND SERVICES 10 HAVE STONE BELDING 14"-10 THE SIZE, WITH AM MINIMULT HICKNEW PIPE, BUT NOT LESS THAN 4 INCHES. DOT IGRADATION CA 7, CA 11. AND CA 13 ARE ACCEPTABLE. FOR THERMOPLASTIC STATE DESCRIPTION OF A 15. AND CA 15. OF THE GRANULAR MATERIAL MAY RANGE FROM 1/4" TO 1" IN SIZE. THE BEDDING MATERIAL SHALL EXTEND ABOVE THE TOP OF THE PIPE A MINIMUM
- 11 ALL ELOOP DRAINS SHALL DISCHARGE INTO THE SANITARY SEWER

WM NOTES: DEFLECTION TESTING FOR FLEXIBLE THERMOPLASTIC

- ALL PIPELINE SHALL BE TESTED FOR EXCESS DEFLECTION BY PULLING A **GO - NO GO** MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE.
 THE MANDREL SHALL BE SIZED IN ACCORDANCE WITH THE TESTING LIMITS
 GIVEN BELOW, AND AS SPECIFIED IN THE SPECIAL PROVISIONS. A
 "DEFLECTOMETER" MAY ALSO BE USED TO CHECK AND RECORD DEFLECTION, WHEREVER POSSIBLE AND PRACTICAL, THE TESTING SHALL NITIATE AT THE DOWNSTREAM LINES AND PROCEED TOWARDS THE
- WHERE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING S. THE CONTRACTOR SHALL EYCAVATE TO THE POINT OF EYCES LIMPTS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL THEN BE RETESTED FOR DEFLECTION. HOWEVER, SHOULD AFTER THE INITIAL TESTING THE DEFLECTED, THE ALL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) THE FAIL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) THE SHALL BE REPLACED.
- 3. SAMPLING SHALL BE PERFORMED ON ALL SEWER PIPELINE BY THE
- 4. DEFLECTION LIMITS FOR FLEXIBLE THERMOPLASTIC PIPES:
 - VERTICAL RING DEFLECTION OF POLYVINYL CHLORIDE (PVC) PIPE SHALL
 - MANDREL DIAMETER = (100% DEFLECTION % LIMIT) * BASE INSIDE
- BASE ID = AVERAGE ID TOLERANCE PACKAGE AVERAGE ID = AVERAGE OD 2* 1.06 * MIN WALL THICKNESS
- TOLERANCE PACKAGE = [(OD TOLERANCE)² + 2(0.06 * MIN WALL THICKNESS)² + ROUNDNESS TOLERANCE)²] ⁴1/2

WM NOTES: SITE GRADING NOTES

- ALL SITE IMPROVEMENTS. INCLUDING STORM WATER DRAINAGE (BUT NOT ALL SITE INFOVENIENTS, INCLUDING STORM WATER TORNINGS (BUT NO WATER MAIN AND SANTARY SEWER) SHALL BE CONSTRUCTED IN A ACCORDANCE WITH ALL APPLICABLE SECTIONS OF ITHE "STANDARD SPECIFICATIONS FOR RODA AND BRIDGE CONSTRUCTION OF THE STATILILLINOIS, DEPARTMENT OF TRANSPORTATION", ADDOPTED JAN 1, 2022 WI ALL SUBSEQUENTS SUPPLEMENTS, AND LOCAL JURISDICTIONS ENTS. IN CASE OF CONFLICT. THE LATTER SHALL TAKE PRECEDENCE.
- EARTHWORK AND EMBANGMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINIOS," ADDPTED JANUARY 1, 2022 WITH ALL SUBSEQUENT SUPPLEMENTS. COMPACTION OF ALL EMBANGMENTS SHALL NOT DEVIATE FROM SECTION 265 GA.
- 3 ALL SITE WORK SHALL INCLUDE OF EARING STRIPPING AND STOCKPILING OF TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRU EMBANKMENTS, CONSTRUCTING NON-STRUCTURAL FILLS, AND FINAL SHAPING, AND TRIMMING TO THE LINES, GRADES AND CROSS-SECTION
- UNSUITABLE MATERIAL ENCOUNTERED IN EXCAVATING FOR PAVEMENT SUBGRADE SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO THE LIMITS APPROVED BY THE GOTECHNICAL ENGINEER UNSUITABLE MATERIAL. THAT IS EXCAVATED SHALL BE DISPOSED OF AT THE CONTRACTORS EXPENSE.
- TOPSOIL EXCAVATED SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, ALL TOPSOIL STOCKPILE AREAS TO BE STABILIZED IN ACCORDANCE WITH APPLICABLE EROSION CONTROL
- CONTRACTOR SHALL LANDSCAPE DISTURBED R.O.W. BY BACKFILLING FROM BACK OF CURB TO ROW LINE WITH A MINIMUM OF 6-INCHES OF TOPSOIL & PLACING SOD. FERTILIZE TOPSOIL WITH NITROGEN, PHOSPHORUS AND POTASSIUM FERTILIZER NUTRIENT.

WM NOTES: WATER MAIN CONSTRUCTION NOTES

- 1. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL WILLES MAIN CUNSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN LLUNGIS, LATEST EDITION, THE NOTES AND ON THE PLANS, AND IN ACCORDANCE WITH CODES AND ORDINANCES OF THE LOCAL JURISDICTION HAVING AUTHORITY.
- 2. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE CLASS 52 WITH EITHER MECHANICAL OR PUSH-ON JOINTS AND SHALL CONFORM TO ANSI A21.51, AWWA C151 AND ANSI A21.11, AWWA C111.
- 3 ALL FITTINGS SHALL BE COMPACT DUCTILE IRON AND SHALL CONFORM TO A FITTINGS SHALL BE U.L. LISTED CLASS 350, TYLER, GRIFFIN OR APPROVED EQUAL.
- ALL PIPE AND FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH
- 5. ALL FITTINGS SHALL BE MECHANICAL JOINT AND SHALL BE INSTALLED WITH
- SLEEVES SHALL BE ROCKWELL D.I. COUPLING TYPE 441 OR EQUAL. SLEEVES SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED. THE COST OF SLEEVES IS CONSIDERED AS INCIDENTAL TO THE COST OF THE PROJECT
- ALL GATE VALVES SHALL BE OF THE DOUBLE DISC TYPE, SHALL HAVE A STANDARD OPERATING NUT AND SHALL OPEN IN A COUNTERCLOCKWISE DIRECTION. GATE VALVE SHALL BE RESILIENT WEDGE TYPE GATE VALVE AWWA C-599 OR AS SPECIFIED BY THE JURISDICTION HAVING AUTHORITY.
- 8. ALL GATE VALVES 12" AND LARGER SHALL BE LOCATED IN A VALVE VAULT
- 9. ALL WATER MAIN SHUTDOWNS SHALL BE PERFORMED BY DISTRIC PERSONNEL ONLY, A MINIMUM OF 24 HOURS NOTICE SHALL BE GIVEN PRIOR TO REQUESTED SHUT-DOWNS.
- 10. VALVE BOXES SHALL BE CAST IRON TWO PIECE 5 1/4 INCH SHAFTS SCREW-TYPE TYLER MODEL 664-5, OR EQUAL. LIDS TO BE MARKED "WATER.
- ALL HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION FOUR (4) OF AWWA C502-54 STANDARD AND SHALL BE MUELLER OR TRAVERSE CITY HYDRANT WITH ONE 4 1/2" STEAMER NOZZLE AND TWO (2) HOSE OUTLE! WHICH THE THREAD CONFORMS WITH THE STANDARDS OF THE AUTHOR HAVING JURISDICTION.
- 12. ALL TEE BENDS, FIRE HYDRANTS AND VALVES SHALL BE ADEQUATELY SUPPORTED WITH BLOCKING, SUPPORTED LATERALLY WITH POURED IN THRUST BLOCKING AGAINST UNDISTURBED EARTH. ALL FITTINGS SHALL BE INSTALLED WITH RETAINER GLANDS. AUXILIARY VALVES SHALL BE AWWA C-509 TYPE, STEAMER PORT ON FIRE HYDRANT SHALL BE 18" ABOVE
- 13 WATER MAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM SANTARY SEWERS, STORM SEWERS, COMBINED SEWERS, HOUSE SEW SERVICE CONNECTIONS AND DRAINS IN ACCORDANCE WITH THIS SE SERVICE CONNECTIONS AND DRAINS IN ACCORDANCE WITH THIS SE SUPPLIES, CHAPTER II: ENVIRONMENTAL PROTECTION AGENCY, PARTS 661-664 TECHNICAL POLICY STATEMENTS, SECTION 663.119.
- 14. ALL WATER SERVICES SHALL BE 1 INCH TYPE "K" COPPER PIPE WITH FLARED CONNECTIONS UNLESS OTHERWISE NOTED ON PLANS. ALL CORPORATION STOPS SHALL BE MUELLER MODEL H15008, 1" GROUND KEY CORPORATION
- 15. ALL CURB STOPS SHALL BE MUELLER MODEL H15155, MARK II ORISEAL 1*
 MINNEAPOLIS PATTERN. ALL CURB BOXES SHALL BE MUELLER MODEL
 H10300, EXTENSION TYPE (5-1/2 FT.) MINNEAPOLIS PATTERN BASE CURB
 BOX.
- A BLUE TIPPED 4"X4"X6" WOODEN POST SHALL BE PLACED VERTICALLY IN THE GROUND AT EACH SERVICE TERMINATION 4" OUT OF THE GROUND.
- 17. ALL WATER MAINS SHALL HAVE A MINIMUM DEPTH OF COVER OF 5'-6".
- 18. WATER MAIN MAY BE LAID ON A 2" SAND CUSHION TO INSURE EVEN BEARING ALONG THE ENTIRE LENGTH OF THE PIPE. OLD WATER SERVICE ALONG WOLF RD TO BE CUT OFF AT MAIN AND MAIN PIPE TO BE REPLACED.

- WM NOTES: SANITARY SEWER TESTING NOTES
- THE MAXIMUM ALLOWABLE INFILTRATION SHALL BE 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE. THE USE OF A V-NOTCH WEIR OR A PLUG WITH SPIGOT TO MEASURE FLOWS SHALL BE DETERMINED BY THE ENGINEER PRIOR TO THE TEST.
- THE SANITARY SEWER SHALL BE TELEVISED BY THE CONTRACTOR AND A THE SANITARY SEWER SHALL BE TELEVISED BY THE CONTRACTOR VIDEO TAPE RECORD SHALL BE MADE AND TURNED OVER TO THE MUNICIPALITY AFTER CONSTRUCTION BUT PRIOR TO PLACING THE SANITARY SEWER INTO SERVICE.
- ALL SANITARY SEWERS WILL BE AIR TESTED BY THE CONTRACTOR LINDER THE SUPERVISION OF THE MUNICIPALITY ENGINEER. ALL TESTING WILL BE DONE IN CONFORMANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION.
- A ALL SANITARY MANHOLES SHALL BE VACILIM TESTED IN ACCORDANCE WITH

WM NOTES: WATER DISINFECTION NOTES

AFTER THE WATER MAIN INSTALL ATION HAS BEEN SATISFACTORILY COMPLETED FUNNSH EQUIPMENT AND CHEMICALS NECESSARY TO PROPERLY DISINIFECT THE WORK IN ACCORDANCE WITH THE LETSE REVISION OF ANWAS STANDARD OIDS -CH CONNE WHICH MAY BE USED IN THE DISINFECTING SOLUTIONS IS DUCKNING SAY OF A SEPTILED BY THE CONTINUOUS FEED METHOD OILLINGS SOLUTIONS SHALL BE PAPILED BY WE CONTINUOUS FEED METHOD OILLINGS SOLUTIONS MAY DEPLIED BY SOLUTION SHALL BE REFURDED OF AVAILABLE COLOR OILLINGS SOLUTION SHALL BE REFURDED THE MICH. OF AVAILABLE COLOR THE DISINFECTING SOLUTION SHALL BE REFURDED THE WAS THE AND A SETTING AN FURNISH EQUIPMENT AND CHEMICALS NECESSARY TO PROPERLY DISINFECT CONCENTRATION IN THE WATER FLOWING FROM THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE OWNER'S SYSTEM, OR LESS THAN 1MG/L.

WM NOTES: WATER MAIN TESTING NOTES

ALL WATER MAIN AND SERVICE PIPE, FITTINGS, VALVES AND HYDRANTS SHALL ALL WATER MAIN AND SERVICE PIPE, FITTINGS, VALVES AND HYDRANTS SHALL BE SUBJECTED TO A HYDROSTATIO PRESSURE OF 20 PG JAFTER INSTALLATION. SHALL BE CAREFULLY FILLED WITH WATER TO EXPEL ALL TRAPPED AIR, AND THE TEST PRESSURE BAUL BE APPLIED BY USE OF A PURP CONNECTED TO A TAP N THE PIPE. IN THE EVENT OF A PRESSURE LOSS, THE CONTRACTOR SHALL LOCATE AND CORPECT ALL LEAKS, AND THEN REPORTS THE PROPROSTATIO PRESSURE TEST MAINT SALTSFACTORY TO THE AUTHORITY HAVING JURISDICTION EVENERE.

THE FOLLOWING INSPECTIONS AND TESTING SHALL OCCUR FOR TH UNDERGROUND PIPING. THE LOCAL OFFICIAL SHALL HAVE A MINIMUM 48 HOURS NOTICE OF THE TEST. THEY SHALL INCLUDE BUT ARE NOT LIMITED TO:

- LINDERGROLIND DIDING THRUST BLOCKS AND RESTRAINTS SHALL BE VISUAL INSPECTED PRIOR TO BEING VISUAL INSPECTED PRIOR TO BEING COVERED. THE LOCAL AUTHORITY THAVING JURISDICTION SHALL BE CONSULTED ON WHAT RELEVANT DEPARTMENT SHALL COMPLETE THE INSPECTION. A COPY OF THE INSPECTION SHALL BE PROVIDED TO THE LOCAL FIRE OFFICIAL PRIOR TO THE FLUSHING AND HYDROSTATIC TES!
- LINDERGROUND FLUSHING SHALL BE COMPLETED PRIOR TO THE FIRE B. UNDERGROUND FLUSHING SHALL BE COMPLETED PHOR IT ONE FIRE SERVICE MAIN BEFORE THE BEACKFLOW ASSEMBLY IS INSTALLED AND PUT INTO SERVICE. THE UNDERGROUND PIPING FLUSHING FLOW RATE SHALL BE NOT LESS THAN ONE OF THE OPTIONS LISTED IN NFPA 24. A COPY OF THE TESTING DOCUMENTS SHALL BE PRESENTED TO THE LOCAL FIRE OFFICIAL AT THE COMPLETION OF THE TEST.
- UNDERGROUND HYDROSTATIC SHALL BE COMPLETED PRIOR TO THE FIRE SERVICE MAIN FROM BEING COVERED. THE PIPING SHALL BE HYDROSTATICALL TESTED AT TWO HUNDRED POUNDS PER SQUARE INCH (200 PS), MINIMUM AND SHALL MAINTAIN THAT PRESSURE WITHOUT LOSS FOR TWO HOURS (2 HRS).

CITY OF ST. CHARLES NOTES:

A CURRENT COLOR VIDEO RECORD AND A WRITTEN TRANSCRIPTION OF THE A CURRENT COLOR VIGEO RECORD AND A WRITTEN TRANSCRIPTION OF THE INTERNAL INSPECTION OF THE NEW TO CONSTRUCTED STORE AND DIN SWITTARY SEWER SYSTEMS SHALL BE SUBMITTED PRIOR TO REFERENCE OF THE STATE OF

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CHARLES,

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CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT MALCOMB 11 0 LEGEND 9 REMOVE / DEMO WATER MAIN SERVICE TO BE REMOVED. BOUNDARY LOT LINE EASEMENT 9 CENTERLINE CURB / GUTTER WARE I 9 REMOVE EXISTING SIDEWALK PROTECT EXISTING FH DURING CONSTRUCTION STORM DRAIN EXISTING STORM SEWERS SANITARY SHALL BE TELEVISED PRIOR TO CONSTRUCTION. SEE NOTE 8. AT MANHOLE (TYP. REMOVE EXISTING TREES HATCH LEGEND REMOVE EXISTING ASPHALT. BASE COURSE TO REMAIN STREET LIGHT REMOVE EXISTING ASPHALT PAVEMENT, FULL DEPTH PROTECT EXISTING FH DURING CONSTRUCTION DEMOLITION NOTES 1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR 0 CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PHODI-TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES. ENGINEER WILL NOT BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION. 2. ALL EXCAVATION SPOILS, INCLUDING BUT NOT LIMITED TO CONCRETE AND PAVEMENT EXCAVATION, SHALL BE EXPORTED AND LEGALLY DISPOSED OF BY THE CONTRACTOR. RING EXISTING STRUCTURES, CONCRETE, PAVEMENT, FENCES, CURBS, UTILITY BOXES, LIGHTS, GATES, ETC. NOT CALLED OUT IN THE PLANS TO BE REMOVED OR REPLACED SHALL BE PROTECTED IN PLACE. DEMO EXISTING FOR AND ON BEHALF ABANDON SANITARY STUBS -AT MANHOLE (TYP CONTRACTOR TO PROVIDE TREE PROTECTION AS NECESSARY DURING CONSTRUCTION TO PRESERVE EXISTING TREES TO REMAIN. ANY TREES NOT IDENTIFIED TO BE REMOVED ARE ASSUMED TO REMAIN. ENGINEERING REMOVE EXISTING ASPHALT PAVEMENT. BASE COURSE TO REMAIN ALL ABANDONED SEWERS / FORCE MAINS SHALL BE PLUGGED AT BOTH ENDS WITH ATLEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUGS. SQUARE -(7, (785) > 502 N KIRK RD. CHARLES, IL 60174 ANY WATER OR SANITARY NOW SHOWN ON THESE PLANS TO BE ABANDONED/REMOVED AS NEEDED. REMOVE EXISTING TREES 8. CONTRACTOR TO TELEVISE EXISTING STORM SEWER FROM BEGINNING OF RUN TO EXISTING DETENTION BASIN OFF OF FOXFIELD DRIVE, NORTH OF JEWEL BULLDING, SEWERS SHALL BE CLEANED OF DEBRIS AND FUNCTIONING, NOTIFY OWNER AND ENGINEER OF ANY SEWERS IN DISREPAIR. DEMO EXISTING STREET LIGHT FOX HAVEN PRELIMINARY 40' BUILDING SETBACK LINE PER DOCUMENT NO. 98K08378 - REMOVE EXISTING WHEEL STOPS -ST. 3 10 PROTECT EXISTING FH
DURING CONSTRUCTION
FND 3/4"/P NO ID 9 EXISTING CURB AND GUTTER - SSMH #883 TOP ELEV: 784.50' NE INV (10" PVC) 775.50' SW INV (10" PVC) 775.60

REMOVE EXISTING

EXISTING CURB AND IGUTTER TO REMAIN

CONFIRM CONDITIONS OF

CURB AND GUTTER

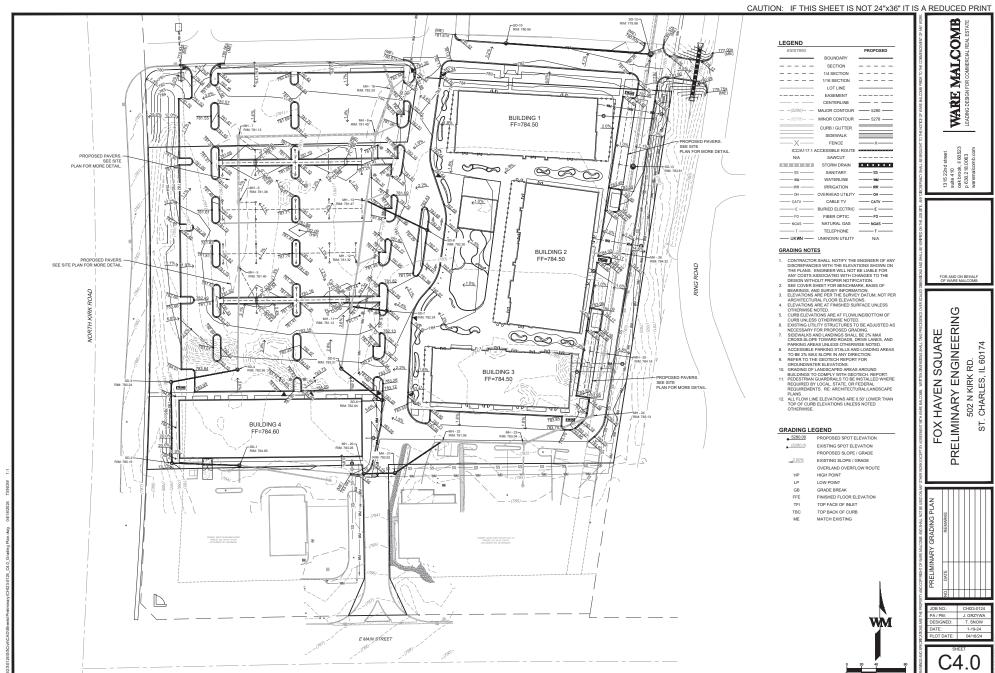


CHI23-0124
J. GRZYWA
T. SNOW
1-19-24
05/29/24

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT MALCOMB FOR COMMERCIAL REAL ESTATE LEGEND PROPOSED BOUNDARY PROPOSED BIKE RACK LOCATIO PROPOSED BY CHARGING STALLS -LOT LINE 5.00* -EASEMENT CENTERLINE Managar . — −(5280)− — MAJOR CONTOUR — 5280 union (MINOR CONTOUR ---- 5278 -----CURB / GUTTER WARE LEADING DESIGN F EXISTING FH BUILDING BUILDING 1 1)} SAWCHT SF-16,150 FF= 784.50 STORM DRAIN MONUMENT SIGN LOCATION STORM CLEANOUT STORM INLET 🔚 🖥 🕝 63 STORM MANHOLE 0 SANITARY A, il 60523 0063 → SANITARY CLEANOUT 0 SANITARY MANHOLE 0 WATERLINE -Q X @ 1000000004 WATER VALVE H WATER MANHOLE LIGHT POLE ETRANS PROPOSED DUMPSTER LOCATION TRANSFORMER FLEC VALUET SIDEWALK RAMP HATCH LEGEND PROPOSED CONCRETE SIDEWALK BUILDING 2 SF=19,500 FF= 784.50 PROPOSED HEAVEY DUTY ASPHALT PROPOSED LIGHT DUTY ASPHALT PROPOSED OUTDOOR SEATING BENCHES DUMPSTER LOCATION ROPOSED ABOVE GROUND BMP AREA ' (° ENGINEERING (SEE ARCH) SITE NOTES PROPOSED 2 CURB CUT 4 CONTRACTOR TO FIELD-VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL SQUARE CONDITIONS PRIOR TO CONSTRUCTION AND SHALL NOTITY ENDINEER OF ANY DISCREPANDES. ENGINEER MILL NOT BE LUBBLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION. AND STATE WITHOUT PROPER NOTIFICATION. BASIS OF BEARINGS, AND SURVEY INFORMATION. 3. DIMENSIONS ARE TO BACK OF CURB AND BUILDING FACE UNLESS OTHERWISE NOTED. 100 de 502 N KIRK RD. CHARLES, IL 60174 BUILDING 3 18.50 - DIMENSIONS ARE TO BACK OF CORD AND BUILDING FACE UNLESS OTHERWISE NOTED.
 PAVEMENT THOONESS AND DESIGN ARE PER THE GEOTECHNICAL REPORT.
 ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED WITH DETECTIBLE WARRING PADS IF REQUIRED BY SF=14.250 FF= 784.50 HAVEN (shiring \ WITH DETECTIBLE WARNING PADS IF REQUIRED BY LOCAL CRITERIA.

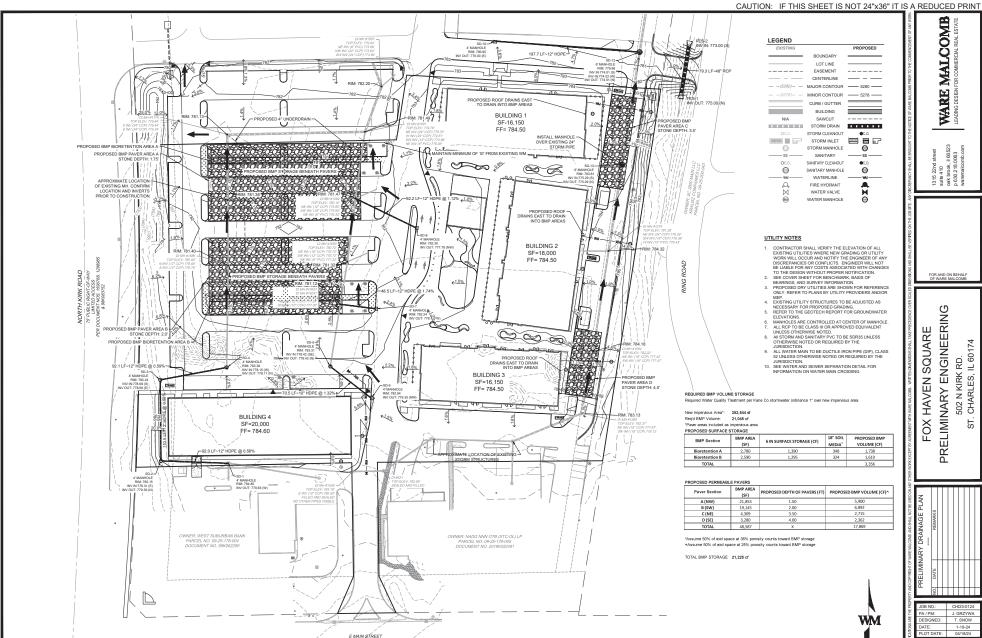
6. CONTRACTOR SHALL REMOVE AND REPLACE CURB. GUTTER, PAVING, LANDSCAPE, AND ANY OTHER ITEMS DAMAGED DURING CONSTRUCTION.

7. ALL PROPOSED STRIPING TO BE 4" WIDE PAINTED YELLOW STRIPE, UNLESS MOTED OTHERWISE. **PRELIMINARY BUILDING 4** FOX ST. SF=20,000 SITE DATA 18.00' -FF= 784.60 PROPERTY AREA: ±328,432F (7.54 AC)
PROPOSED IMPERVIOUS: 6.00 AC
PROPOSED PERVIOUS: 1.54 AC
BUILDING AREA:
BUILDING 1: ±16,150 SF - (6,500 SF
BUILDING 2: ±19,500 SF - (19,500 SF EXISTING FH ±16,150 SF - (6,500 SF RESTAURANT, 9,650 SF RETAIL) ±19,500 SF - (19,500 SF RESTAURANT) ±14,250 SF - (4,000 SF RESTURAUNT, 10,250 SF RETAIL) BUILDING 4: ±20,000 SF TOTAL BUILDING G.F.A.: 69,900 SF OLD SECOND BANK TRASH ENCLOSURE REQUIRED PARKING PER CITY OF ST. CHARLES PUD STANDARD AT 4 SPACES PER 1,000 SF FOR RETAIL & OFFICE SPACE AND 15 SPACES PER 1,000 SF OF RESTAURANT SPACE EXISTING FI ASSUME 30,000 SF RESTAURANT SPACE & 39,900 SF RETAIL & OFFICE SPACE. RESTAURANT PARKING: 450 SPACES RETAIL & OFFICE PARKING: 160 SPACES TOTAL REQUIRED PARKING: 610 SPACES TOTAL PROVIDED PARKING
ON-SITE DEDICATED: 347 SPACES
SHARED SPACES: 87 SPACES
TOTAL PROVIDED SPACES: 474 SPACES* REQUIRED ADA SPACES: 9 (FOR 401-500 SPACES) TOTAL PROVIDED: 10 SPACES *VARIANCE IS REQUIRED DEDMEADI E DAVEDO PERMEABLE PAVERS WM ESIGNED: T. SNOW E MAIN STREET TYPICAL PAVER SECTION N.T.S.



SCALE: 1" = 40'

C5.0
| Sheet 6 of 8



PRELIMINARY ENGINEERING HAVEN SQUARE 502 N KIRK RD. CHARLES, IL 60174 FOX

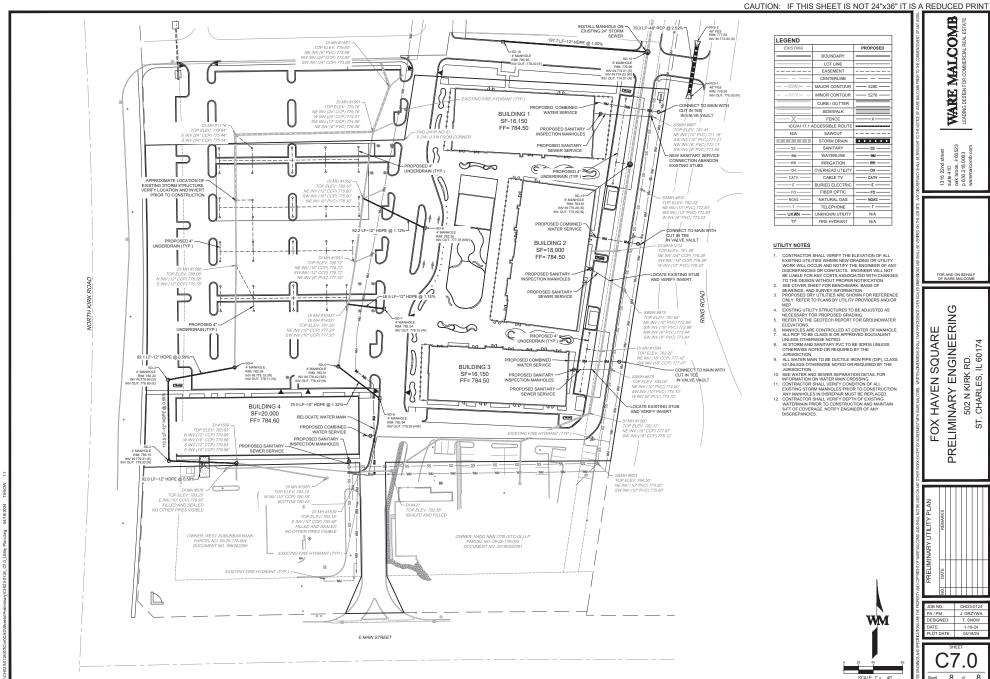
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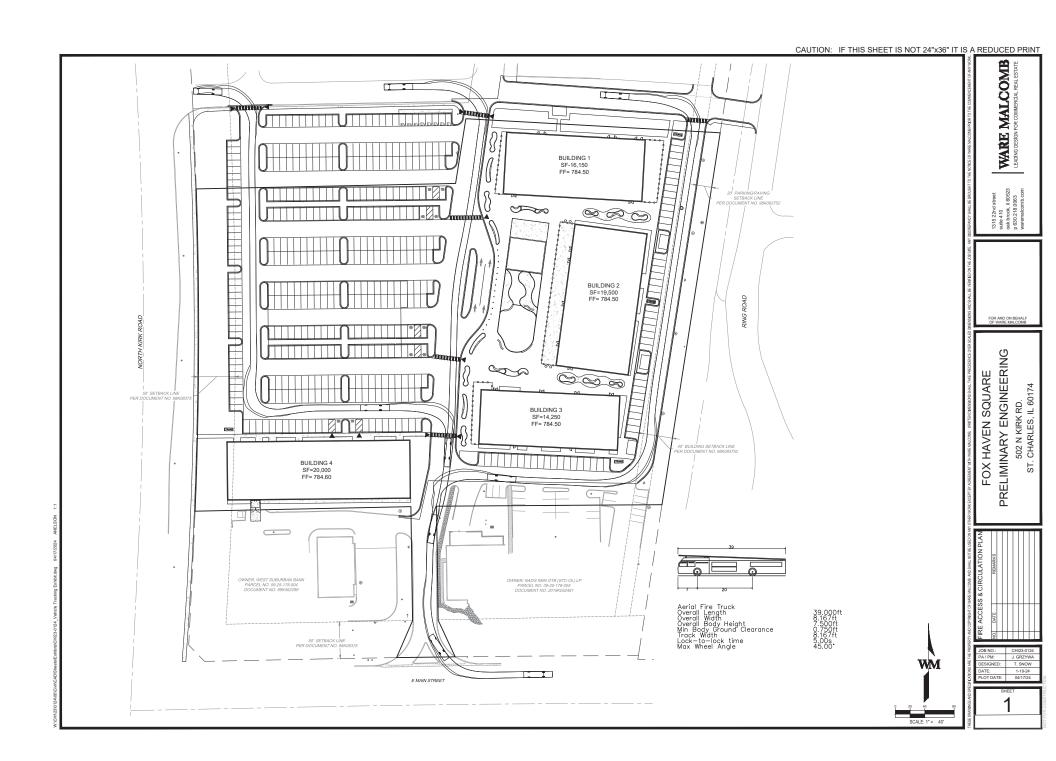
ii 60523 0063

T. SNOW

C6.0



T. SNOW



LANDSCAPE PLAN FOR:

FOX HAVEN SQUARE

St Charles, IL

Site Location Map



SHEET INDEX

 SHEET
 DESCRIPTION

 CS-1.0
 COVER SHEET

 L-1.0
 LANDSCAPE PLAN

 L-2.0
 LANDSCAPE PLAN

 L-3.0
 LANDSCAPE PLAN

 L-4.0
 LANDSCAPE SPECIFICATIONS

FOX HAVEN SQUARE 502 N. Kirk Road St Charles, Illinois

SEAL:



PH: 630.561.3903 www.metz-company.co

LANDSCAPE PLAN

PROJECT NO.: 24-248

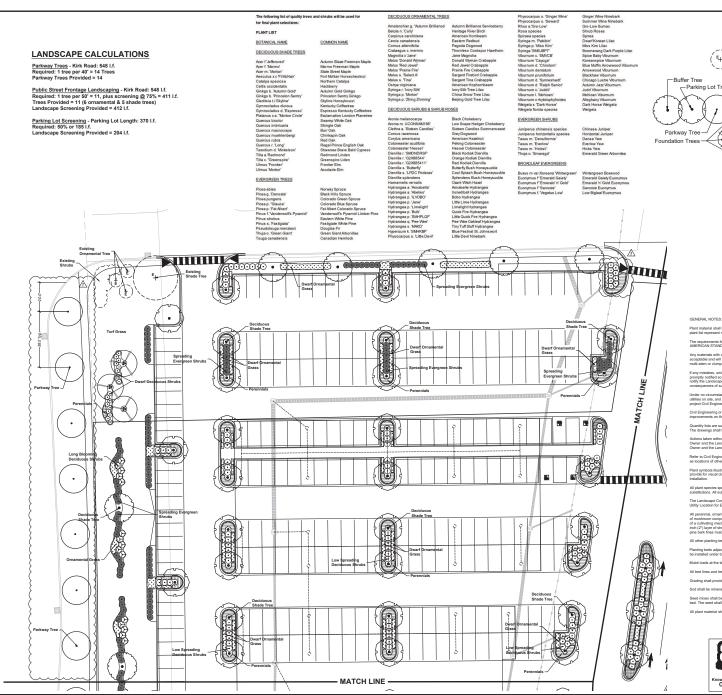
DATE: 1-19-2024 SCALE: 1"=20

CS-1.0

Landscape Architect: Metz & Company 826 E. Maple Street Lombard, IL 60148 630.561.3903

Architect/Engineer: Ware Malcomb 1315 W 22nd Street, Suite 410 Oak Brook, IL 60523 630.218.0063





LEGEND

Parking Lot Tree 2.0" or 6' - ORNAMENTAL TREES

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(X)

EXISTING TREES

EXISTING SHRUBS

2.5" - DECIDUOUS SHADE TREES

6' - EVERGREEN TREES

30" to 36" - DECIDUOUS SHRUBS

00% 24"/#5 - DECIDUOUS SHRUBS*

24"/#5 - EVERGREEN SHRUBS

#1 - ORNAMENTAL GRASSES

#1 - PERENNIALS

from flats - GROUNDCOVERS

* Dwarf Ornamental Shrubs 18"/#3

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads or

in without the knowledge and consist of the Owner and the Landscape Architect or in contra-he Landscape Architect's work product or recommendations, shall become the responsibility the Landscape Architect, but for the parties responsible for the taking of such action.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of

The Landscape Contractor shall verify location of all underground utilities prior to digging by calling "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123 and any other public or private agency necessary for utility location.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inche of mustroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mutched with an additiona linch (2") layer of streeded wood mutch, Annuals & groundcovers shall be covered with a two inch (2") layer of sour

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

Mulch beds at the time of planting shall extend a minimum of two feet (2') beyond the center of a shrub

Sod shall be mineral base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2*) of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's, specs) or Hydro-mulch. All plant material shall be guaranteed for one (1) year from the date of acceptance.







1 St. Charles Review #1 4-18-2

> ~ ⋖ SQUA 502 N. Kirk Road St Charles, Illinois HAVEN

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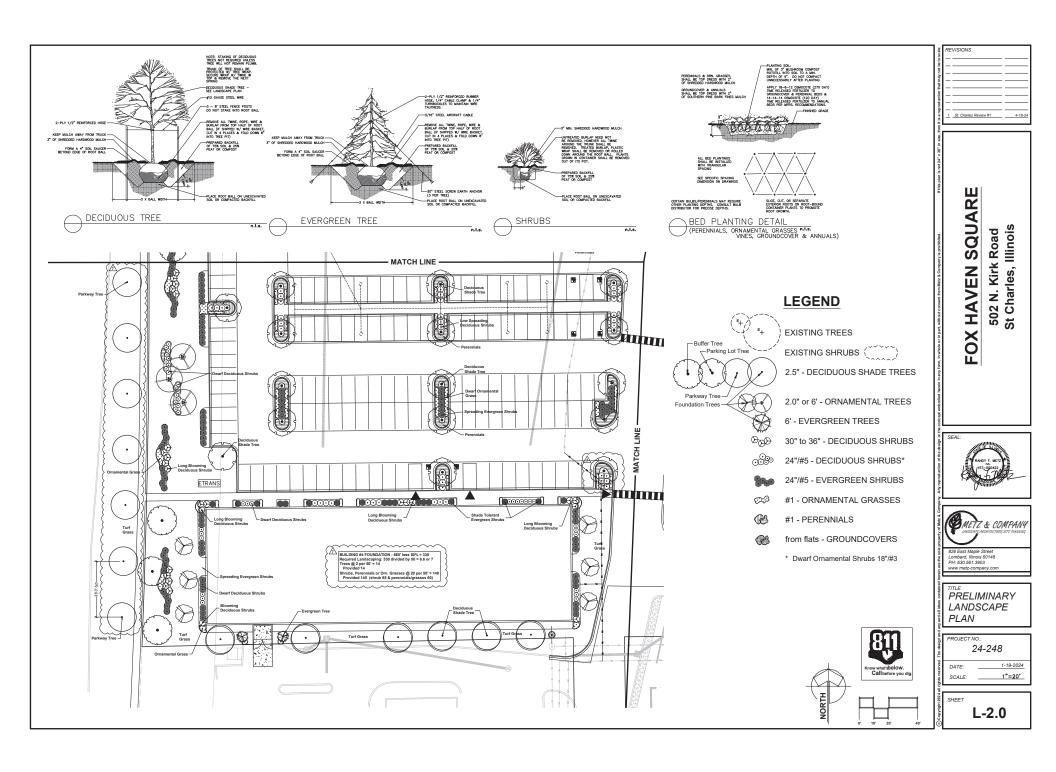
Lombard, Illinois 60148 PH: 630.561.3903

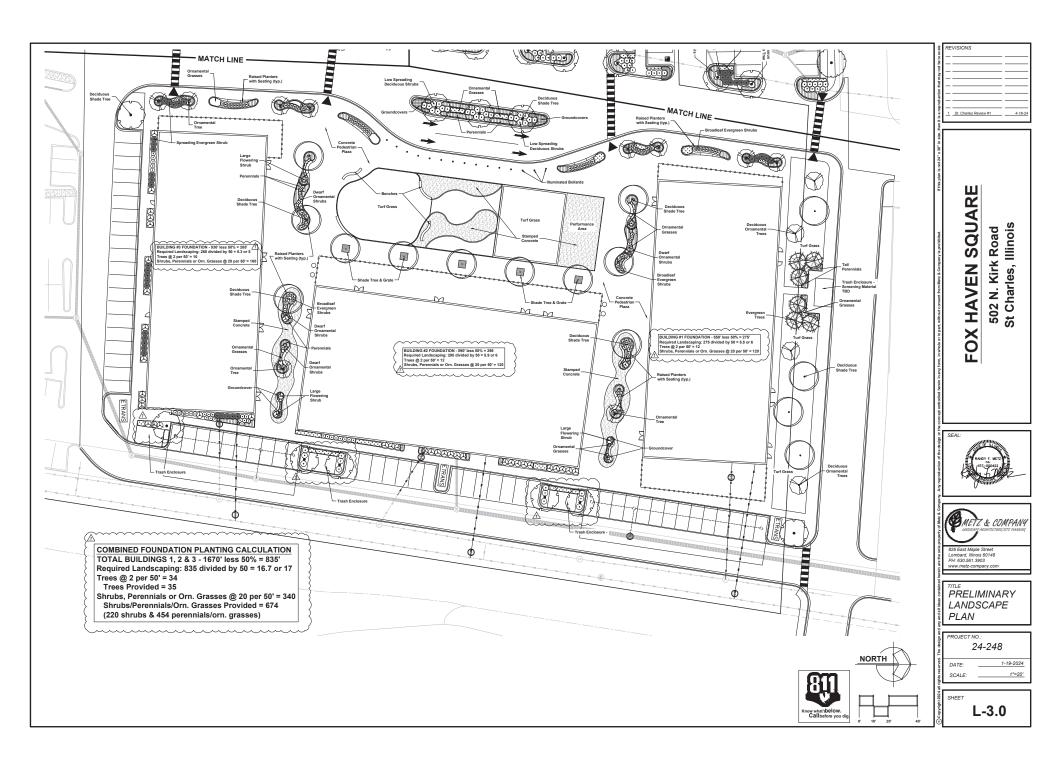
PRELIMINARY LANDSCAPE PLAN

24-248

1-19-2024 1"=20'

SHEET L-1.0





LANT MATERIAL

thing of all maherials, and the performance of all operation in connection with the planting of decidaous & evergreen tree roses, personials, omamental grasses, groundcover, bulbs (if any) and armust flowers (if any) in strict conformance is bide drawines within are subject to the terms and conditions of the Contract.

CENERAL RECUIREMENTS

APPLICABLE STANDARDS

American National Standards for Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10098.
American Standard for Nursery Stock, ANSI 280.1, American Nursery & Landscape Association, 1000 Vermont Avenue NW, Suite 300, Washington, D.C.

Hostus Third, The Staff of the L.J. Bailey Hostorium, 1976, MacMillan Publishing Co., New York. All standards shall include the latest additions and amendments as of the dated of advertisemen

ART 2 - MATERIALS

concerning. The Landscape Architect reserves the right to tag or inspect plants at the nursery but such inspection shall not preclude the right of rejection at the sale Contractor shall furnish and install all plants as shown on the drawing and in the quantities as actually designated on the drawings. The quantities shown on the plant fill are included for convenience purposes only.

NOMENCLATURE The names of the plants indicated on the drawings conform generally with those accepted in the nursery trade.

TEMPORARY STORAGE trained and by planted on the day of delawy. In the sense this is not provide, the Contract and protect the projected such trained as it is provide, part contract and protect the projected such trained as the provided process of the provided process of

SELECTION Alphate hall be obtained from numeries licensed by the State of Bincis and approved by the Landscape Architect. The Landscape Architect nearwas the to accompany the Contractor to the numeries for the purpose of selecting (bigging) material. Plant sources located outside the State of Bincis must be appropriated by the Landscape Architect.

TOPSOIL Topical Feeded shall be imported. All imported topical, used for any portion of the work, what be feeded, frielde, related isom containing a liberal amount of Topical Feeded shall be individely fee from weets, large mote, jatera, stdos, attons larger than one (1) lond, weats, dubtion or other extransoon matter. The installing Contractor shall be responsible for notic picking and/or dubtion removal as needed to meet this specification.

- pH: No lower than 5.0 nor higher than 8.0.
 TEXTURE: No more than 25 percent clay.
 SOLUBLE SALT: No more than 1000 ppm
 CHEMICAL ACTIVITY: The topsoil (on-site & imp

MULCH Mulch shall consist of the following:

FERTILIZER & NUTRIENTS

Fartilizer shall be commortial fartilizer which shall be a correlate fartilizer with the following engreenimate analysis

s lace (14-3-3) slow-release briguettes or acceptable equivalent approved by Landscape Architect

- Roses

 1. Wiodison (14-3.1) shor-release briganties
 2. Bipartitive legal or exceptable separated approved by Landscape Architect.

 Control of the Control of the Control of Cont

TREE WRAPPING MATERIAL

Tage for securing the weap shall be bio-degradable tape suitable for nursery use and which is expected to degrade in sunlight in less than two (2) years after intertails/on.

WATER

optied by the Owner at no cost to the Contractor by way of an irrigation system, quick coupler system, hose bibs, hydrant meter or a on size.

ART 3 - EXECUTION

Planting operations shall be conducted under fevorable weather conditions during the season stated in the Contract. Before excavations are made the surrounding latf (if existing) shall be convent in manners that will satisfactorily protect all tert areas that are to be trucked or hasted over and upon which soil is to temporarily schooled. The Contractor shall be assported for the restoration of all damaged existing thr. All restorations shall be added.

TIME SCHEDULE OF PLANTING OPERATION

Lindicoping shall be performed during the season or seasons which are rormal for such work as determined by weather conditions and by accepted practice.

Priviling may be performed unfer invessescable conditions without delictional compensation, that such work must have the prior approved of the Lindicopinal Conditions and the conditions are conditions are conditions are conditions and the conditions are conditions and the conditions are conditions are conditions are conditions and the conditions are cond

Bare root materials (if any) shall cease on May 31

2. FALL a. Sept. 1 to Nov. 15 with following exceptions

3.2 WATERING

All plants shall receive a thorough watering immediately after installation. During times of extreme heat, all evergrees and decidious trees shall receive a minimum of 16 galitons of water por twe per watering up to two (2) additional waterings shall be performed as resided. The use of delp irrigidate the balays are encouraged (i.e., pubm/say). All additional waterings will be performed by the Danier or in accordance with a Change Oder per the Outpursted Ello Posts for additional waterings.

3.4 ACCEPTANCE

FISE MANNEY PLANTING ACCEPTANCE.

Protentine principles acceptance shall be given for completed planting operations for the purpose of the Controlled becoming digitals for purposes for Protentine principles and principles acceptance shall be given for completed planting acceptance shall be given because and only the Course and of Course is Representative by principles.

In addition, the controlled planting acceptance is the proteints acceptance and principles acceptance to the proteints in incident for an example of the principles acceptance and principles acceptance acceptance and principles acceptance acceptance

- FINAL PLANTING ACCEPTANCE
 Free james and the part of the properties of all regionsment operations equived building the parameter should below.
 Free james properties while be parameter should be properties of the parameter should be parameter should be properties of the properties o

- ONE YEAR PERSOD

 The one (1) year period shall begin on the date of Proliminary Acceptance of all plant material.

 REVIEW ACCEPTATION SEE ADMINISTRATION OF THE PROLIMINARY ACCEPTATION OF
- materials not specified by the Contract of vandatism or by terrorism. GUARANTEE PERIOD INSPECTION

PART 1 - GENERAL

1.1 SCOPE OF WORK

Topical for planting operations shall be obtained from an on-site stockpla generated from the state typing. In the event that more is available, needed typical-ble specified from an off-site accuracy. All propriets begood, in the growth propriet begood in the work, which be facility, fished, installar bound containing a thirmouth as amount of harms. It shall be relatively free from containing a thirmouth propriet begood to the prop

- ORGANIC MATTER. Not less than 1.5 percent no more than 10.0 percent. pht. No lower than 5.0 nor higher than 8.0. LEXTURE: No mores than 25 percent day. SOLUBLE SALT: No more than 1000 ppm.

- CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant growth damage.

2.2 COMMERCIAL FERTILIZER AND DELIVERY

Fertilizer shall be delivered to the site in unopened, origin misruflictures and to deserve the control of the co

PENTILIZED SINENUTH
The follow shall be complain fertilizer containing a minimum basis percentage by weight of the following:
1. PRORT TO SEEDING AND/ON SOCIONA 6-24-24
PRORT TO SEEDING AND/ON SOCIONA 6-24-24
Phosphorosca. 24%
Potath. 24%

a)One-quarter of the nitrogen shall be in the form of initrates, one-quarter in the form of ammonia salts, and one-half in the form of organic b) Available phosphoric acid shall be derived from super-phosphate having a minimum guaranteed analysis of 20% of available phosphate. c) The potates habit be in the from of suphstate of potats.

The balance of the fertilizer shall be made up of materials usually present in such a product. It shall be free from dust, sticks, send, stone, or other relativis

PROPORTION BY WEIGHT TYPE OF GRASS

CONVENTIONAL TURF GRASS MX (f specified)
60% KENTLORY BLUEGRASS (Mend of 3 collivars)
30% PREFENAL RYEGRASS (Mend of 2 collivars)
10% CREENING RED FESCUE
(Apply at 7 bis 17.00 S F to mechanical seeding)

 30%
 CREEPING RED FESCUE

 20%
 KENTUCKY BLUEGRASS

 10%
 PERENNIAL RYEGRASS

 (Apply at 5 tbs.17,000 S.F. for mechanical seeding)

1. PACKING AND MARKETING

All seeds shall be delivered in suitable bags in accordance with standard commercial practice. Each bag shall be tagged or labeled as required by the law of the STATE OF LLINGOT. The vendor's areas shall show on or be attached to such bag together with a statement signed by the overest schowing; a like interference of the shall be precentage of policy and germatisation, of the percentage of the ske, if my, of a statement conforming to the laws of the STATE OF LLINGOS travellabeler mentitioned showing percentage of weed seeds, if any. Seed which has become water, most procedures damaged with the spicant.

2.4 EROSION CONTROL BLANKET

2.5 HYDROMULCH (if specified) SoilCover Hydraulic Wood Mulch by Profile distributed by ERO-TEX (\$66)437-8839

4.5 500 for sections, the properties of the properties in repected to be placed diseases and insect infestions. It shall be fresh cut, low, manage grown such, not less than one and one shift 1500 looks thick sharing such contains dress. The next some shall be disposed, fortile, and seek of the properties of the pr

The Owner and/or Landscape Architect, reserves the right to inspect the sod at the source before cutting and areas that fall to meet with his approved shall not be cut for the purpose of supplying interfact under the contract. The Owner author undexages Architect shall be permitted to the size of the purpose of supplying interface under the contract. The Owner author undexages Architect shall be permitted to the size of the purpose of the size of the contract of the size of the purpose of the size of th

- 1. BLUEGRASS SOD shall be a blend of at least three (3) cultivars of Kentucky bluegrass grown on a mi
- SALT SOD (if specified) shall be a blend of Kentucky Bluegrass, 'Fults' Alkalie Grass (Puccinellia Distans), Perennial Ryegrass and other types as approved by the Landscape Architect grown on a mineral base.

2.7 WATER

The Omer shall provide at no cost, sufficient water for the Contractor to maintain plant materials and sended and solded areas in secondario with the requirement of the applicable students specifications. Tables water and it is supplied by the Owner by your of a parameter provided by way of the provident of the provident specifications. Tables are considered to the provident of the provident of

in the event that the on-sits water supply is curtailed or terminated by the Owner or by ordinance during the period the Contract is in effect, or But there is no con-site sources of water, the Contractor shall supply water from off-site in sufficient quantities to complete the job companished for this additional lame will be a secondaries with a solidoried price quite. If all sufficient quantities a long when it has Contractor in the Contractor of the Contractor of the Contractor by the Owner, when the Contractor water is notified in sufficient quantities, in the Contractor shall not be left responsible for damages or one quantities plated affect resider of manages now sequenting plated materials is 400 of relative of sade of generations and governored direct resider of manages now sequential sections.

PART 3 - EXECUTION

3.1 SEED - The accepted seasons for sowing seed in lawn areas shall be defined as follows:

PLANTING SEASONS	SPRING	FALL
PLANTING SEASONS	SPRING	

Turf grass April 1 * to May 31 Aug. 15 to Sept. 30 or as soon as the soil is free of frost and in a workable condition. Seeding during other time periods shall require the approval of the Owner and/or Landscape Architect. All sowing of seed shall be completed after all trees and shrubs have been installed, if any.

3.2 SOD - The accepted seasons for laying sod shall be as follows:

- Sodding during the summer season, defined as June 16 to August 14, will be acceptable if the area is served by an operational irrigation system. Sodding after November 1 shall be considered unseasonable and will require the approval of the Landscape Architect or Owner.

3.3 REQUIRED MAINTENANCE

The Contractor shall be responsible for maintaining all newly seeded and sodded areas until such a time as these areas are granted acceptance by the Owner and/or Landscape Architect. Maintenance during this time period shall and consist of watering, mowing, fertilization and harbicide application, as well as any other horticidusal polication, as well as any other horticidusal polication castalois has not objectable stand of grant.

A. WATERING

- The Contraction shall water of early sected own one immediately one complete. Additional entiring shall be preferred as reacted in the descript of support and purpose of preparine to present confidence of designations. The contraction shall be improved be to watering and that is undertaken and according of the Contraction shall be improved by the contraction of the improved present prepare in prepare in propose in processing and the improved prepared in processing and in the contraction of the improved prepared in the contraction of the co
- The Contrar and water all early models and mendality. The Contrards what may require the notion of prompt from (1) appoints a Contrare special contrare and the contrare and th

- The Costractor shall mow all **seeded** areas three (3) times. The three (3) movings shall be performed once the turf has re-nches (3°) and shall maintain the turf at 2-2½°. At no time should more than 1/3 of the leaf blade be removed by any moving.
- The Contractor shall mow all sodded areas once. The one (1) mowing shall be performed once the turf has reached a height of three inches (3").
 At no time should more than 1/3 of the leaf blade be removed by any mowing.

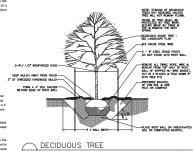
- C. FERTILIZATION Seeded areas after completion of the second required moving, the Contractor shall apply an 18-5-9 convenencial fartilizer at the rate of 15 pounds or 1,000 square feet (650 lbs/lac.) to all furf areas using a mechanical spreader and by making two (2) passes at right angles to each
- Sodded area after completion of the required moving, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per 1,000 square feet (650 balac.) to all turf areas using a mechanical spreader and by making two passes at right angles to each other.

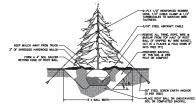
The Contractor shall be responsible for one (1) application of a weed control product no sooner than the second moving with the areas seeded. The

Acceptance of seeded areas will be determined by the Owner anxior Landscape Archibect. Acceptance shall be grateful open conformance with the following: 10 - Osas shall deplay a reasonably uniform distribution of grass plants. 22 - Osas shall deplay seed to the conformation of the shall be shall be conformational properties of the conformation of the conformati

The Contractor shall not be held liable for damage incurred to the seed areas caused by deloing compounds, toxic substances, fertilizers, pesticides and other materials not specified or not applied by him or under his supervision, nor those damages caused by vandalism or acts of nature.

The Contractor shall guarantee the provision of a green, healthy relatively weed free turf at the time of acceptano

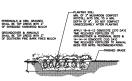


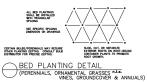




EVERGREEN TREE

SHRUBS





REVISIONS 1 St. Charles Review #1 4-18-24

2 ⋖ <u>ه</u>. Illinoi Road ō S 502 N. Kirk | St Charles, II AVEN Ì

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n.t.s.

SF41



TITLE LANDSCAPE SPECIFICATIONS

PROJECT NO.: 24-248

SCALE: N.T.S. SHEET

DATE: 1-19-2024

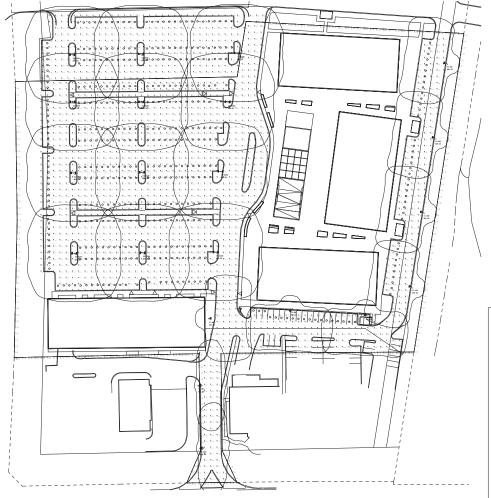
L-4.0

CONTROLL OF MATERIAL MATERIAL AND STREET TO THE USED ON AND OTHER MOTOR ENG	SITE PHOTOMETRIC PLAN	REMARKS	ISSUED FOR SPECIAL USE PERMIT & PUD SUBMITTAL	REVISED PER CITY COMMENTS		
		TE	2024	2024		

E010

Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used. Qty Tag 2 V1-3BC 7 V1-4W Arrangement
Single
Single
Back-Back Arr. Watts 172 158 Manufacturer Description Symbol Luminaire Lumens 15065 Arr. Lum. Lumens Luminaire Watts VP-1-160L-160-4K7-3-BC VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-5QW 0.900 0.900 0.900 EEACON EEACON 158 12 V2-5QW EEACON PRODUCTS 19033 38066

Calculation Summary Avg/Min 3.90 4.56 N.A. Description READINGS TAKEN @ GRADE READINGS TAKEN @ GRADE READINGS TAKEN @ GRADE CalcType EV PARKING LOT Planar Illuminance Illuminance 11.67 PARKING AND DRIVES_Planar PROPERTY LINE Illuminance N.A.



Luminaire Location Summary LumNo Label
1 VP-1-160L-160-4K7-3-BC
2 VP-1-160L-160-4K7-3-BC
3 VP-1-160L-160-4K7-4W Mtg Ht Orient VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-4W VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_ VP-1-160L-160-4K7-5QW_1 VP-1-160L-160-4K7-5QW_1 VP-1-160L-160-4K7-5QW_1 VP-1-160L-160-4K7-5QW_1

PARKING LOT DESIGN GUIDE	MAINTAINEE	HCRIZONTAL	MAINTAINE	D VERTICAL	AVG:MIN 4:1	MUM
APPLICATION AND TASK	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARNING (UNGOVERED) ZONE Z (SUBURBAN	1	0.5 - 2	U.6	0.3 - 1.2	4:1	1501
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2			FOR SECUR RAISE AVG.	
SIMPLIFIED RECOMMENDATIONS (ASED ON IES " INDIVIDUAL APPLICATIONS WILL DETERMINE SPEC MORE DETAILED EVALUATION AND ADDITIONAL	CIFIC RECOMMEN	IDATIONS, PLEAS	SE REFER TO THE A	OST RECENT HA		

NOTES

PC BILLICHTEN IS NETHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE.
CODE COMPLIANCE REVIEW BY OTHERS.
ANY VARANCE FROM REFLECTANCE VALUES OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL UGHT LEVELS OBTAINED. LIMMERSHAMMER CHAIN MILL APPELL THE ACTUAL BUFFL LEVELS DISTAIRED.

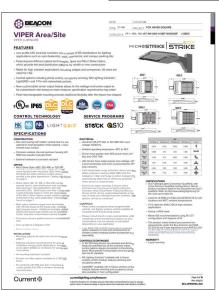
HEIS ANALYS S A MATHEMATICAL MODEL AND CAN BE CONLY AS ACCURATE AS IS PERMITTED BY THE THIRD PARTY SOFTWARE AND THE IES STANDARDS USED.

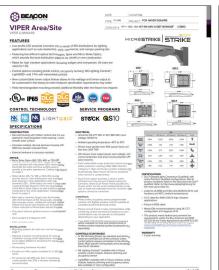
FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR RIED CONCINONS, THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES. FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY, TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS. CALCULATION GRID VALUES 10'-0" O.C.

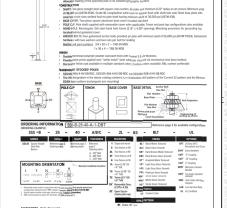
BEACON

Current @

SSS-B Series Poles







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DATE: LOCATION:
TYPE VI-WPOLE PROJECT P



FOX HAVEN SQUARE

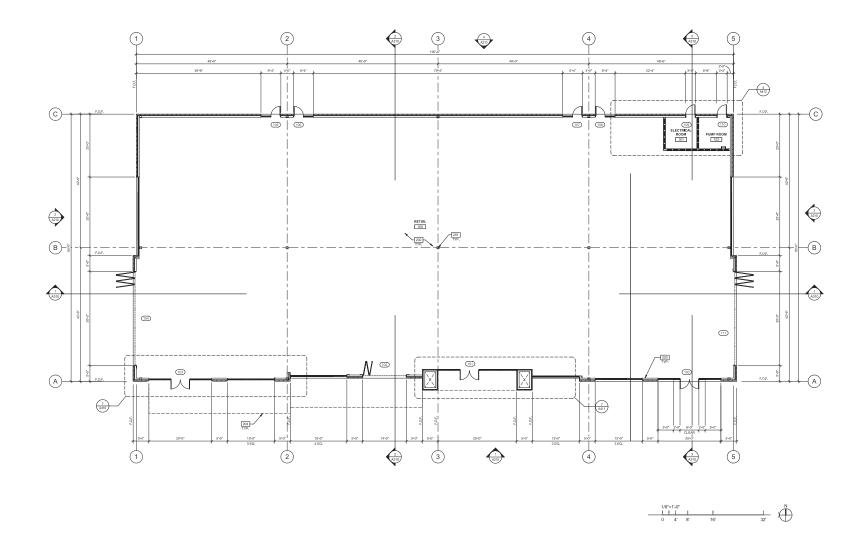
ST. CHARLES, ILLINOIS

CHI23-0124-00 APRIL 25, 2024





1° =20°







BRICK - MIDDLE TONE

- 4 ALUMINUM PRE-FINISHED COPING
 DARK FINISH
- 7 POTENTIAL LOCATION FOR SIGNAGE
- POTENTIAL LOCATION(S) FOR ART MURAL

2 BRICK - DARK TONE

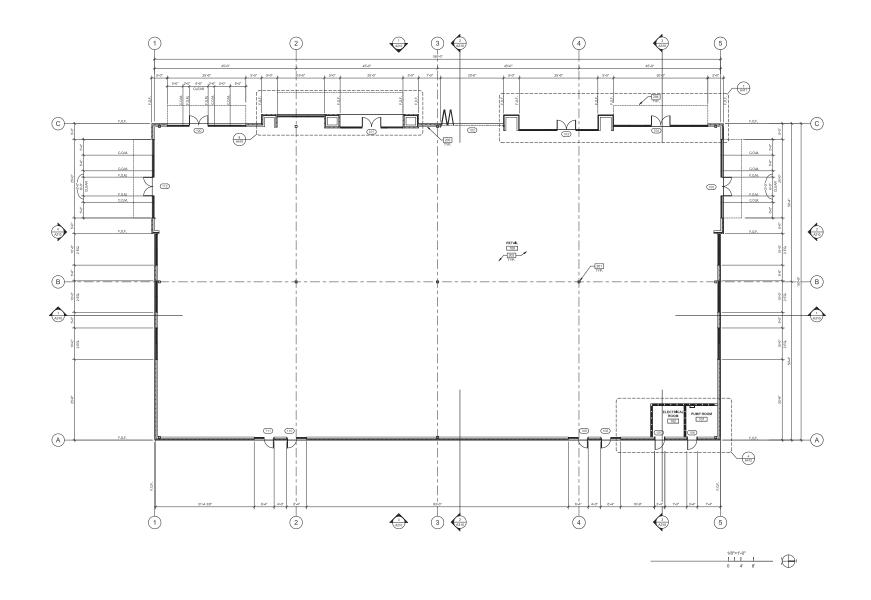
5 ALUMINUM STOREFRONT DARK FINISH

8 WOOD VENEER ACCENT

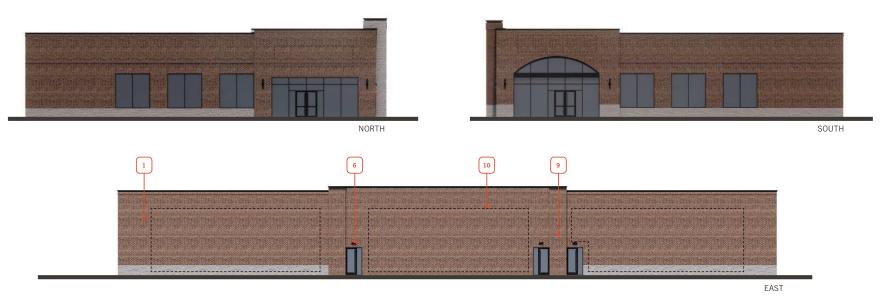
3 STACKED STONE VENEER

6 EXTERIOR LIGHTING

9 BRICK EXPRESSION







BRICK - MIDDLE TONE

- 4 ALUMINUM PRE-FINISHED COPING
 DARK FINISH
- 7 POTENTIAL LOCATION FOR SIGNAGE
- POTENTIAL LOCATION(S) FOR ART MURAL

2 BRICK - DARK TONE

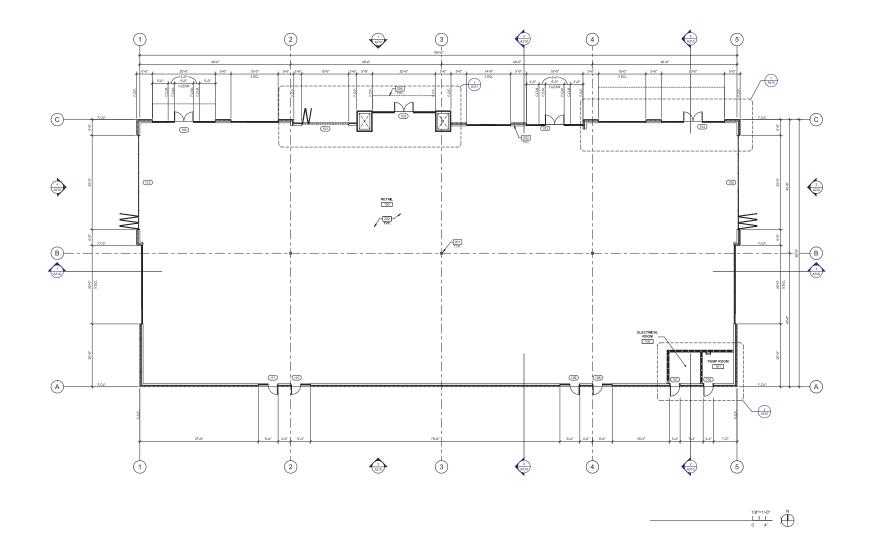
5 ALUMINUM STOREFRONT DARK FINISH

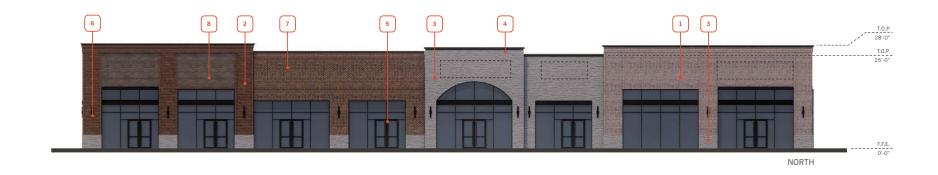
8 WOOD VENEER ACCENT

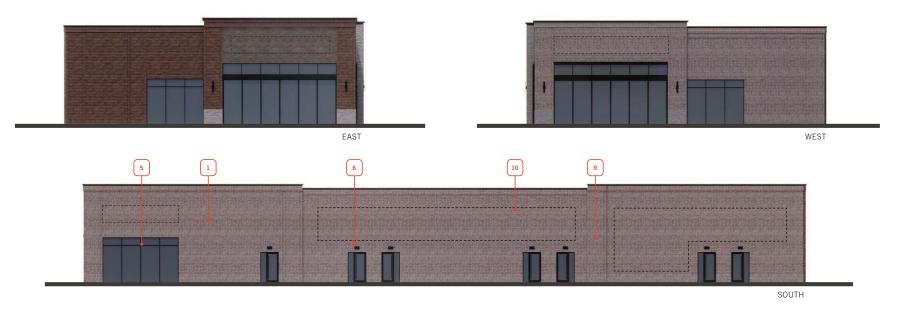
3 STACKED STONE VENEER

EXTERIOR LIGHTING

9 BRICK EXPRESSION







BRICK - MIDDLE TONE

- 4 ALUMINUM PRE-FINISHED COPING
 DARK FINISH
- 7 POTENTIAL LOCATION FOR SIGNAGE
- POTENTIAL LOCATION(S) FOR ART MURAL

2 BRICK - DARK TONE

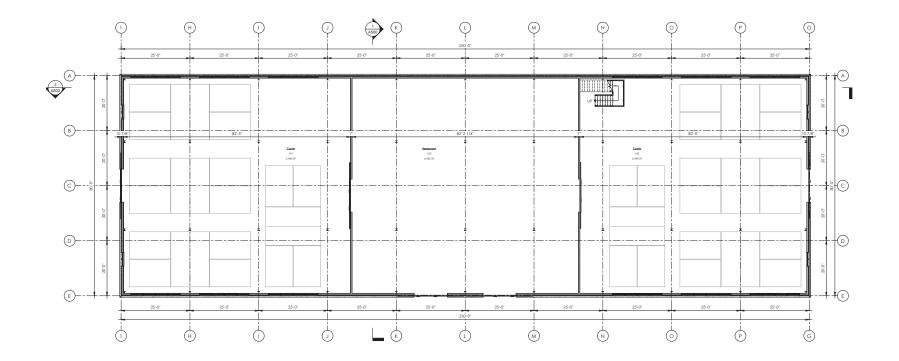
5 ALUMINUM STOREFRONT DARK FINISH

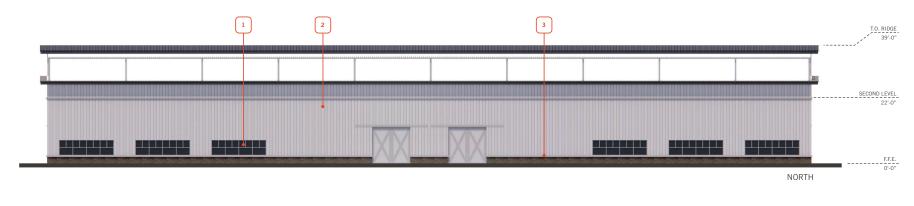
8 WOOD VENEER ACCENT

3 STACKED STONE VENEER

6 EXTERIOR LIGHTING

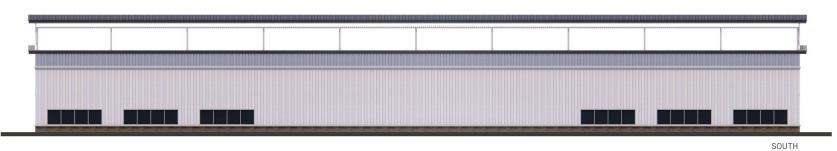
9 BRICK EXPRESSION











- 1 ALUMINUM STOREFRONT WHITE MULLIONS
- PREFINISHED METAL PANEL LIGHT/WHITE
- 3 STACKED STONE VENEER









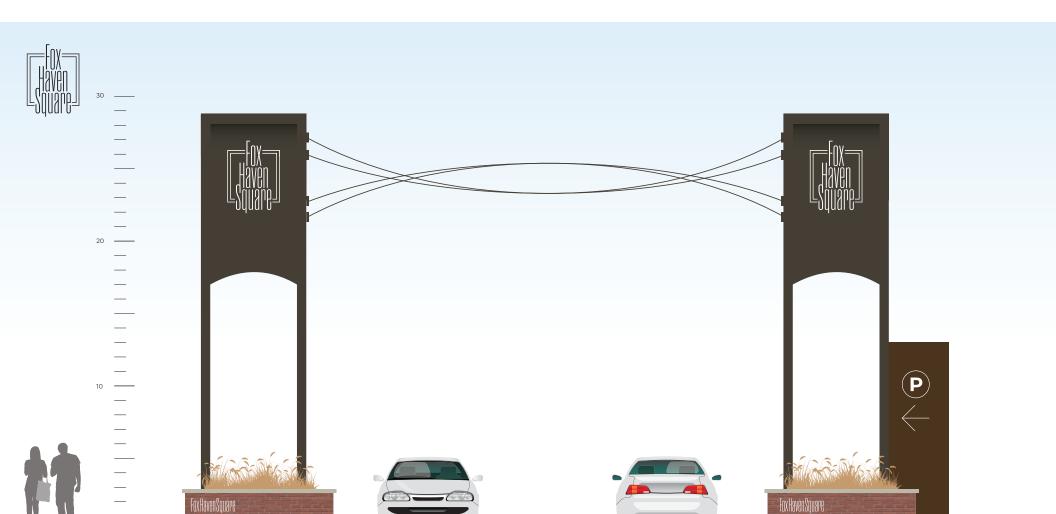














SITE SIGNAGE

WARE MALCOMB
STATE OF ILLINOIS DESIGN FIRM REGISTRATION NO. 194-004069









SITE SIGNAGE

WARE MALCOMB







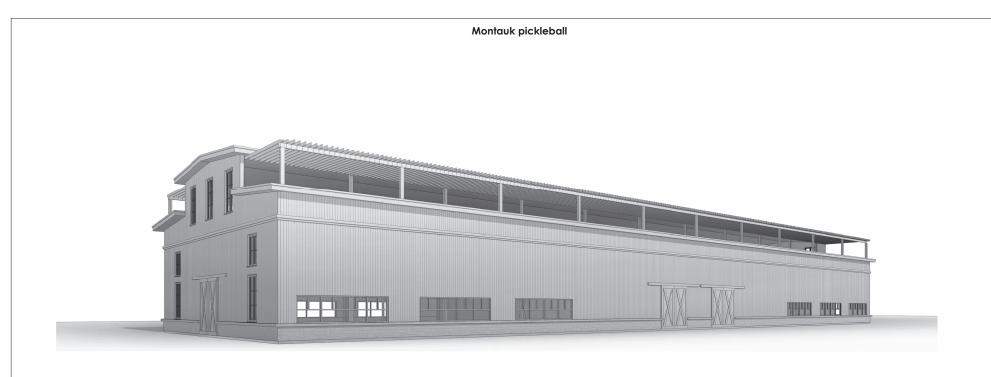












A100 Cover Sheet
A101 General Notes
A210 1ST Floor Plan
A220 Mzzanine Floor Plan
A300 2nd Floor Plan
A310 Roof Plan
A400 Elevations
A500 Sections 1
A600 Details & Schedules
A601 Details & Schedules
A602 Details & Schedules
A603 Details & Schedules
A603 Details & Schedules
A604 Plan
A606 Sometric Views
A900 Perspective views

ECS STEEL

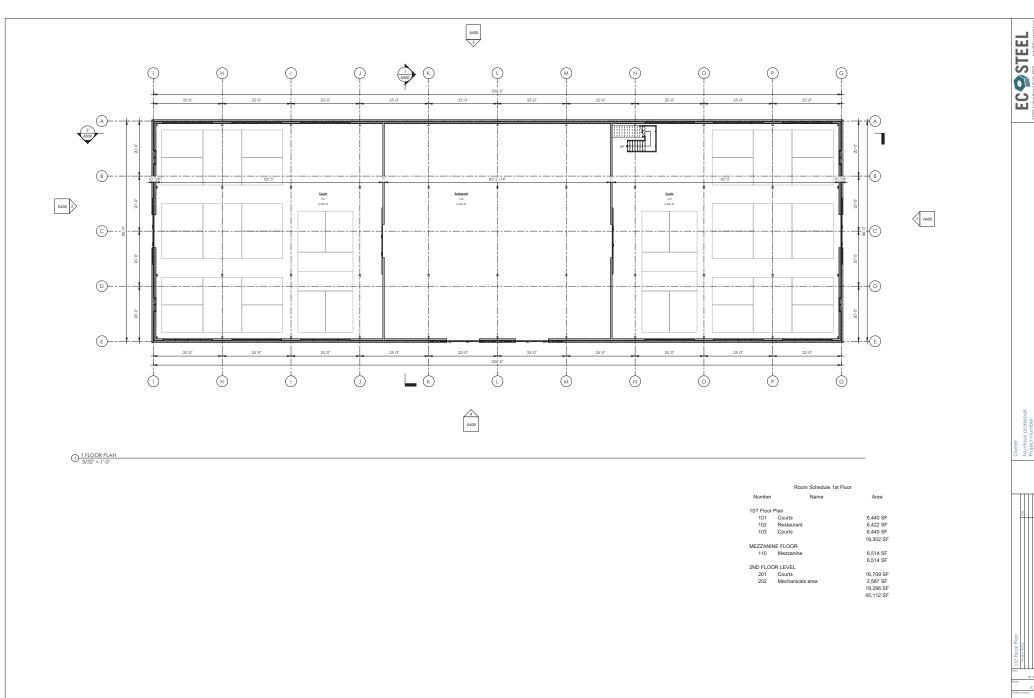
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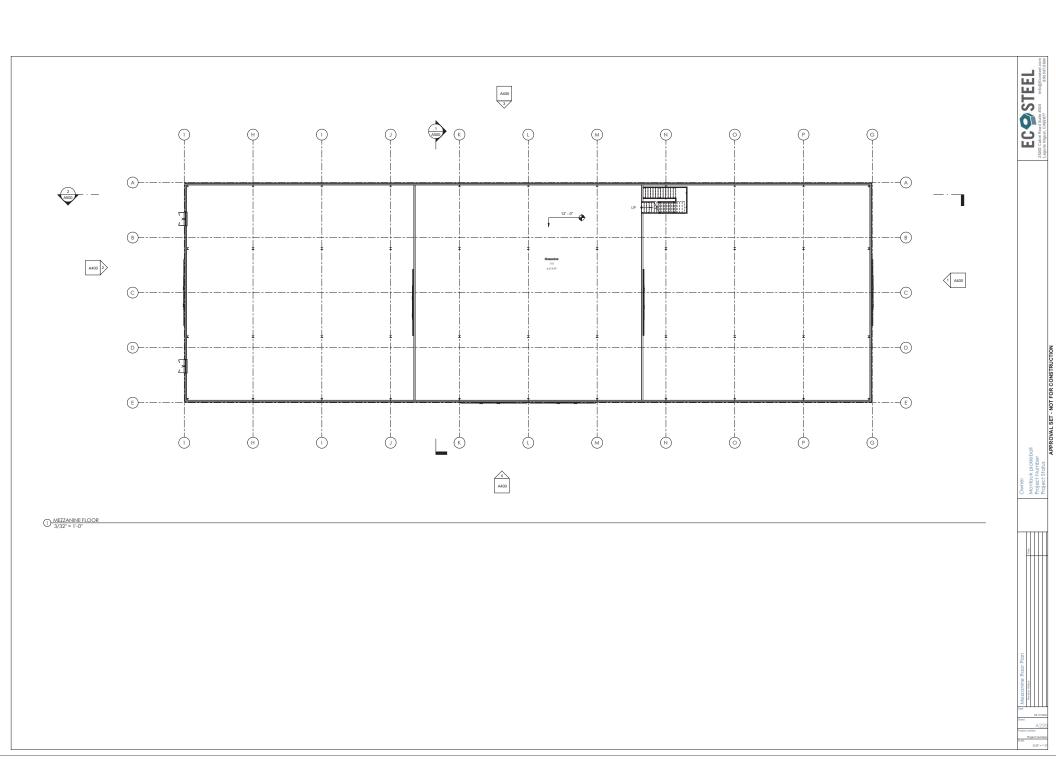
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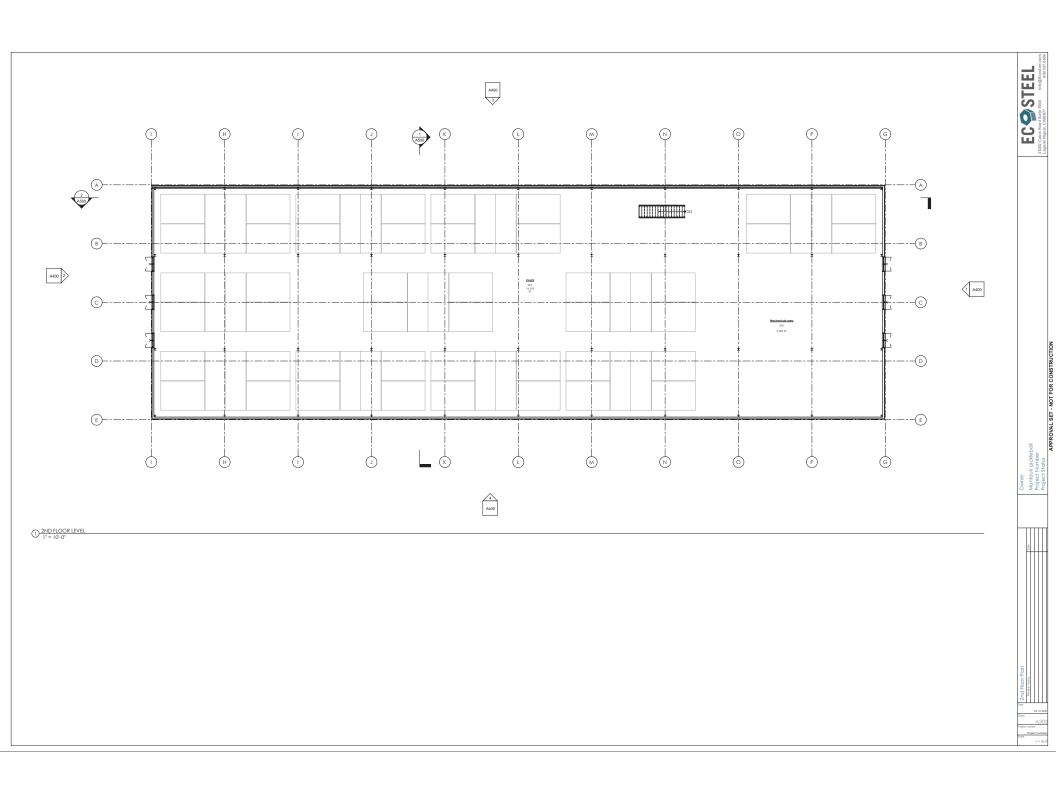
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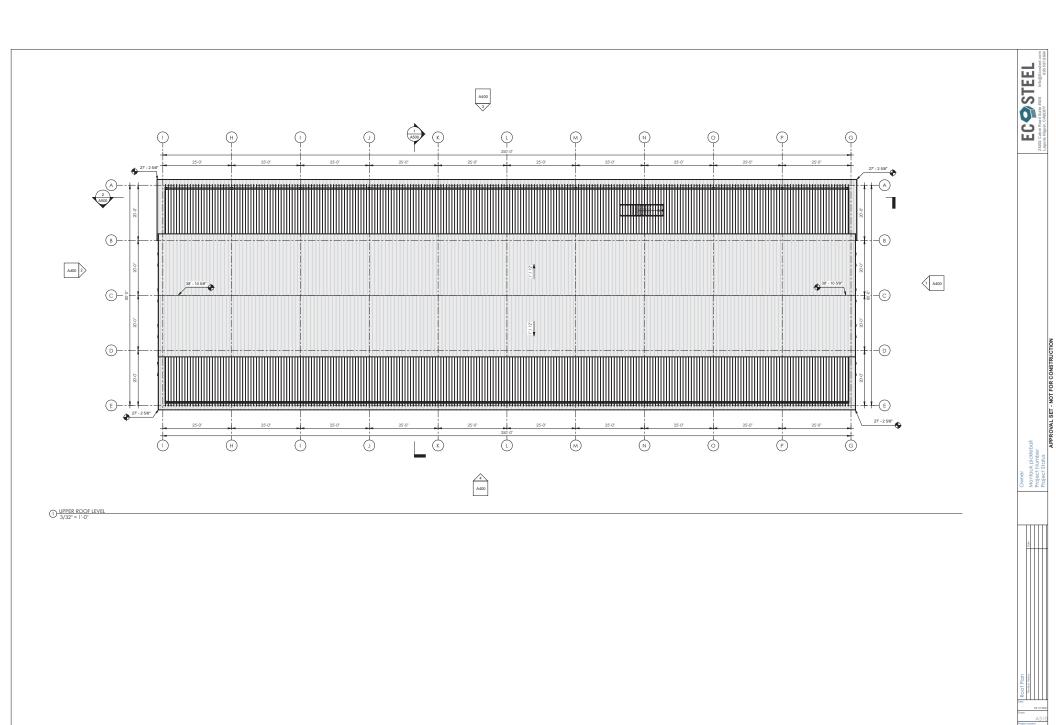
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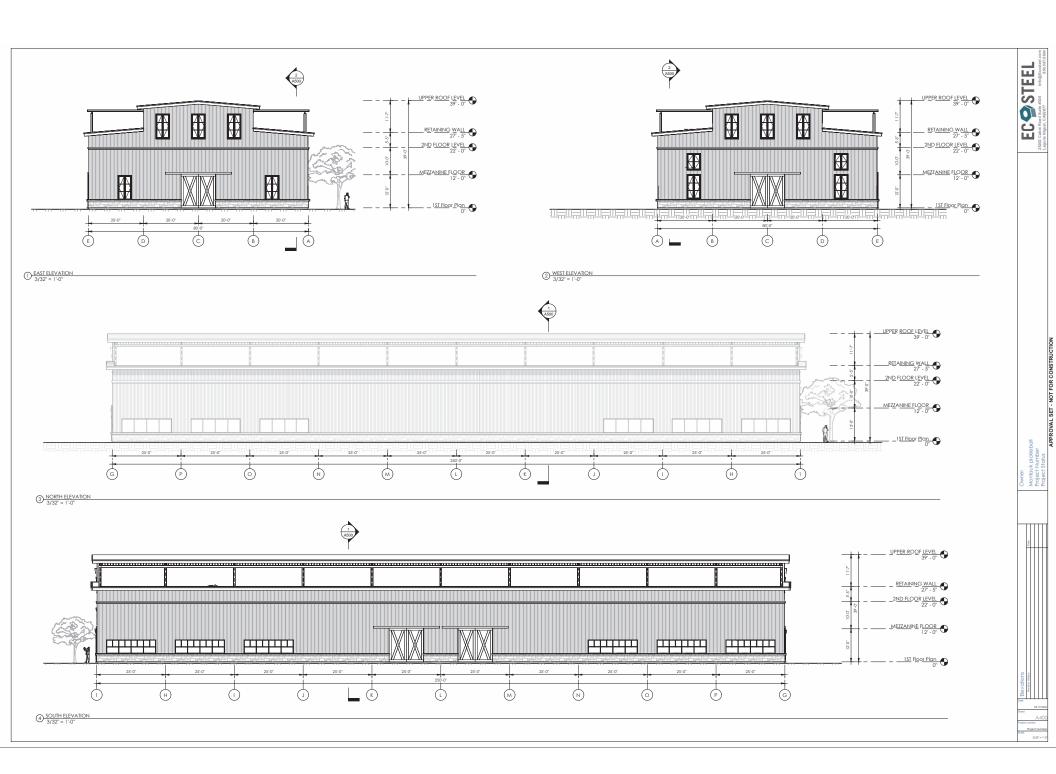


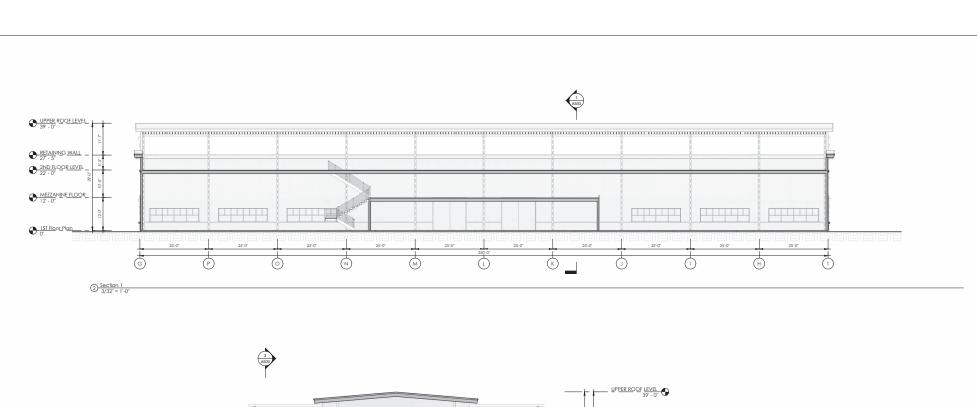
Owner
Montauk pickleball
Project Number
Project Status

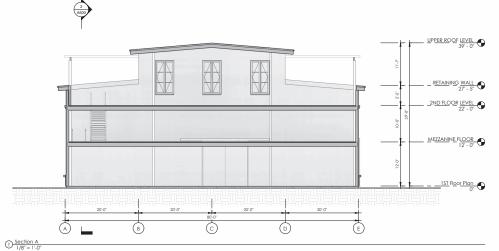




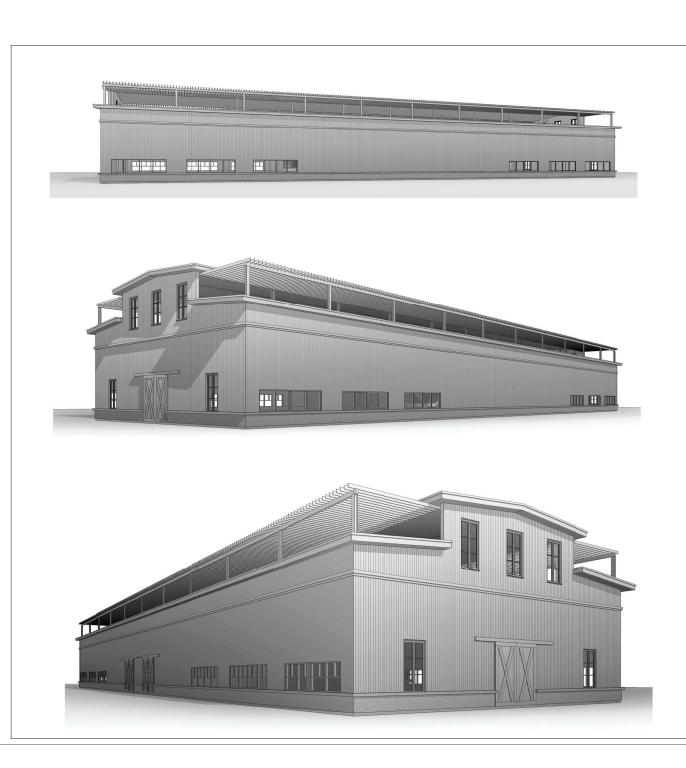














Nontauk pickleball Project Number Project Status

Perspective views

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Sheet
A 9 00
Project number