



AGENDA ITEM EXECUTIVE SUMMARY

Agenda Item number: 7a

Title: Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for East Side Retail Center, Legacy Business Center PUD .

Presenter: Ellen Johnson

Meeting: Government Operations Committee

Date: May 20, 2019

Proposed Cost: N/A

Budgeted Amount: N/A

Not Budgeted:

Executive Summary (if not budgeted please explain):

The subject property constitutes four retail outlots fronting Kirk Rd. in the Legacy Business Center of St. Charles PUD, a 40-acre industrial PUD located on the east side of Kirk Road at Legacy Blvd.

Property owner J. Trisis Holding, LLC is proposing to develop the Legacy retail outlots as follows:

- Construct a gas station on Outlot 4 at the southeast corner of Kirk Rd. and Legacy Blvd.:
 - 5,880 sf building facing Legacy Blvd. with pumps/canopy east of the building.
 - Right-in only access from Legacy Blvd. and full access from Rukel Way.
- Construct a multi-tenant restaurant/retail shopping center on Outlots 1-3 along Kirk Rd. north of Legacy Blvd.:
 - Four buildings with multiple restaurant and retail spaces located in the middle of the lots with surrounding parking.
 - Two full access points from Equity Dr. and two right-out only exists, one onto Kirk Rd. and one onto Legacy Blvd.

The applicant is requesting a PUD Amendment to permit a gas station on the subject property and to reduce the parking setback from Equity Dr. Approval of a PUD Preliminary Plan has also been requested which constitutes site, engineering and landscape plans for the development.

Plan Commission Review

Plan Commission held a public hearing on 4/16/19 and voted 9-0 to recommend approval, subject to the following:

1. Resolution of all staff comments prior to City Council action.
2. Traffic and parking concerns discussed during the hearing shall be submitted to the Police Department for review and resolution prior to City Council approval.

The primary access point to the proposed gas station is on Rukel Way (formerly Equity Dr.), near its intersection with Legacy Blvd. Commissioners expressed concern for the impact of additional activity from the gas station on this portion of Rukel due to traffic and on-street parking associated with neighboring Goldfish Swim School and traffic generated by the AJR entrance at the south end of Rukel. A question was also raised as to whether the 3-way stop at Rukel/Equity & Legacy Blvd. should be modified to a 4-way stop. Staff discussed these concerns with the Police Department and Public Works Engineering. The Traffic Safety Officer determined parking should be restricted on both sides of Rukel Way. This will require City Council approval. A 4-way stop at Rukel/Equity & Legacy is not warranted and may cause traffic to back up towards Kirk. Instead, signage stating eastbound traffic does not stop will be added under the existing stop signs.

Attachments (please list):

Plan Commission Resolution, Staff Report, Applications & Plans, PUD Ordinance 2006-Z-3

Recommendation/Suggested Action (briefly explain):

Plan Commission recommendation to approve an Amendment to Special Use for Planned Unit Development and PUD Preliminary Plan for East Side Retail Center, Legacy Business Center PUD .

City of St. Charles, Illinois
Plan Commission Resolution No. 8-2019

**A Resolution Recommending Approval of a Special Use to Amend Ordinance
2006-Z-3 (Legacy Business Center PUD) and PUD Preliminary Plan for
East Side Retail Center (J. Trisis Holding, LLC)**

Passed by Plan Commission on April 16, 2019

WHEREAS, it is the responsibility of the St. Charles Plan Commission to hold public hearings and review requests for Special Use and PUD Preliminary Plan; and,

WHEREAS, the Plan Commission held a public hearing and reviewed the applications for Special Use to amend Ordinance 2006-Z-3 (Legacy Business Center PUD) and PUD Preliminary Plan for East Side Retail Center (J. Trisis Holding, LLC); and,

WHEREAS, in accordance with Section 17.04.410.D, the Plan Commission finds the Special Use for PUD and PUD Preliminary Plan to be in the public interest based on the following criteria for Planned Unit Developments:

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)

- i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:**
- 1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.**
 - 2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.**
 - 3. To encourage a harmonious mix of land uses and a variety of housing types and prices.**
 - 4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.**
 - 5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.**
 - 6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.**
 - 7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community**

The PUD integrates new commercial businesses into the community along Kirk Rd.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. **The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public are, pedestrian and transit facilities.**
2. **The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.**
3. **The PUD will provide superior landscaping, buffering or screening.**
4. **The buildings within the PUD offer high quality architectural design.**
5. **The PUD provides for energy efficient building and site design.**
6. **The PUD provides for the use of innovative stormwater management techniques.**
7. **The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.**
8. **The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.**
9. **The PUD preserves historic buildings, sites or neighborhoods.**

East Side Retail Center north of Legacy Drive conforms with the original PUD established for the Legacy Business Park. The southern parcel serves as an ideal location for a gas station and convenience store. The proposed amendment shall provide services for the East Side Sportsplex visitors, Legacy Business Park tenants, hundreds of employees at AJR Filtration and Pillow Health as well as the 25,000 vehicles that travel on Kirk Road daily.

iii. **The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):**

A. **Public Convenience: The Special Use will serve the public convenience at the proposed location.**

Yes, 25,000 vehicles travel on Kirk Road daily and the proposed development will provide a convenience store and gas station that are not available on Kirk Road in St

Charles. Additionally, our development will aid the surrounding business park tenants and those visiting the East Side Sports Complex.

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Utilities have been provided to the site, stubbed at various points as noted on plans.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

The proposed development will enhance the surrounding neighborhood by providing new commercial spaces for retail and restaurant at the East Side Retail Center near the East Side Sports Complex.

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Surrounding property will not be affected by the proposed development.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

General welfare to surrounding property neighbors will not be impacted with the proposed development.

F. Conformance with Codes: That the proposed Special Use conforms to all existing federal, state and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed development conforms to all regulations with exception to local road setbacks, a variance for which has been granted with the proposed amendment.

iv. The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.

The proposed development will bring new commercial businesses along Kirk Road.

v. The proposed PUD conforms to the purposes and intent of the Comprehensive plan.

In the East Gateway Subarea section of the Comprehensive Plan, it is noted that 25,000 cars travel North-South on Kirk Road daily. Additionally, it states that this area represents a significant piece of the local economy as well as the need to improve the appearance of Kirk Road businesses to strengthen the identity of St. Charles in this area. Also consistent within the Comp. Plan, this parcel is surrounded

by a healthy business park and new industrial companies, such as AJR Filtration and Pillow Health. The building materials proposed for East Side Retail are consistent with the Comp. Plan Design Guidelines as well as the Legacy Business Park Covenants, Conditions and Restrictions.

NOW, THEREFORE, be it resolved by the St. Charles Plan Commission to recommend to the City Council approval of a Special Use to amend Ordinance 2006-Z-3 (Legacy Business Center PUD) and PUD Preliminary Plan for East Side Retail Center (J. Trisis Holding, LLC), subject to the following conditions:

1. Resolution of all staff comments prior to City Council action.
2. Traffic and parking concerns to be submitted to the Police Department for review and resolution prior to City Council approval.

Roll Call Vote:

Ayes: Purdy, Kessler, Becker, Holderfield, Wallace, Melton, Funke, Vargulich, Pretz

Nays:

Absent: 0

Recused: 0

Motion carried: 9-0

PASSED, this 16th day of April 2019.

Chairman
St. Charles Plan Commission

Community and Economic Development
 Planning Division

Phone: (630) 377-4443
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Staff Report

TO: Chairman Maureen Lewis
 And the Members of the Government Operations Committee

FROM: Ellen Johnson, Planner

RE: East Side Retail Center – Legacy Business Center PUD

DATE: May 17, 2019

I. APPLICATION INFORMATION:

Project Name: East Side Retail Center

Applicant: J. Trisis Holding, LLC

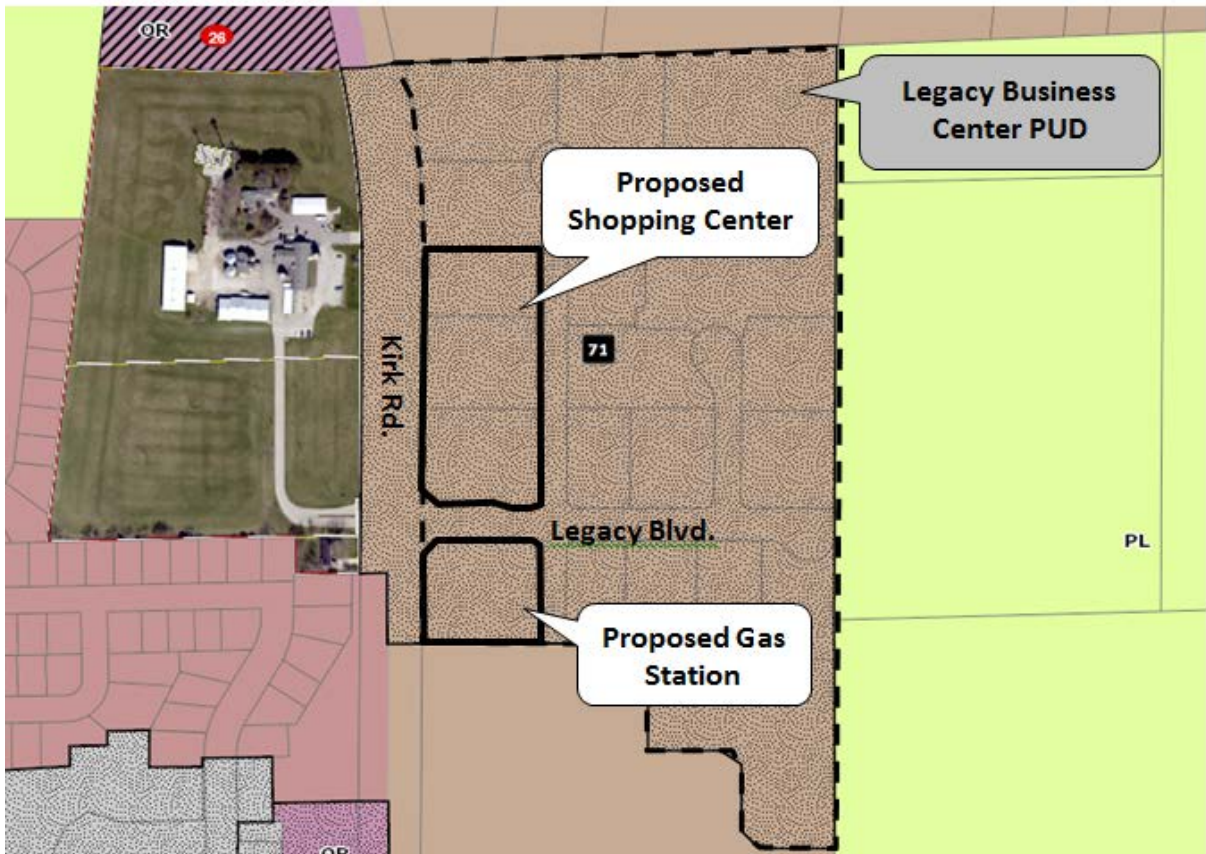
Purpose: Develop a gas station and shopping center in the Legacy Business Center

General Information:		
Site Information		
Location	Legacy Business Center Lots 1, 19, 20, 21 East side of Kirk Road, north and south of Legacy Blvd.	
Acres	Lot 1 (Gas Station): 1.68 acres Lots 19-21 (Shopping Center): 4.13 acres Total: 5.81 acres	
Applications	Special Use (PUD Amendment) PUD Preliminary Plan	
Applicable Zoning Code Sections and PUD Ordinance	Ch. 17.14 Business and Mixed Use Districts Ch. 17.20 Use Standards Ch. 17.24 Off-Street Parking, Loading & Access Ch. 17.26 Landscaping and Screening Ordinance 2006-Z-3	
Existing Conditions		
Land Use	Vacant	
Zoning	M-2 Limited Manufacturing (PUD)	
Zoning Summary		
North	M-2 Limited Manufacturing (PUD)	Vacant
East	M-2 Limited Manufacturing (PUD)	Goldfish Swim School, Tek Pak, Corrosion Monitoring Services, Turbojet Partners
South	M-2 Limited Manufacturing	AJR Filtration
West	RS-4 Suburban Residential F Farming & B-3 (Kane County)	Trellis Farm & Garden Single-family homes
Comprehensive Plan Designation		
Industrial/Business Park		

Aerial



Zoning



II. BACKGROUND

A. PROPERTY HISTORY

The subject property constitutes Lots 1, 19, 20, and 21 in the Legacy Business Center of St. Charles PUD, a 40-acre industrial PUD located on the east side of Kirk Road. The entrance at Legacy Blvd. also serves as the main entrance to the East Side Sports Complex adjacent to the east.

The Legacy PUD was approved by City Council in 2006 under Ordinance 2006-Z-3 “An Ordinance Amending the Zoning Map and Granting a Special Use as a Planned Unit Development for the Legacy Business Center of St. Charles PUD”. The PUD approved industrial uses for a majority of the business center. These lots have been developed over the past several years with three lots remaining vacant and available for development (note the aerial image does not show recent construction activity). The PUD also identified four retail outlots along Kirk Rd., platted as Lots 1, 19, 20, and 21, which also remain vacant.

The Legacy PUD ordinance included approval of a PUD Preliminary Plan for the industrial lots and landscaping of street frontages for the entire business center. PUD Preliminary Plans for the retail outlots were to be approved separately, prior to development.

B. PROPOSAL

J. Trisis Holding, LLC, property owner, is proposing to develop the Legacy Business Center retail outlots as follows:

- Construct a gas station on Outlot 4 (Lot 1) at the southeast corner of Kirk Rd. and Legacy Blvd.:
 - 5,880 sf building facing Legacy Blvd. with pumps/canopy east of the building.
 - Right-in only access from Legacy Blvd. and full access from Equity Dr.
- Construct a multi-tenant restaurant/retail shopping center on Outlots 1-3 (Lots 19-21) along Kirk Rd. north of Legacy Blvd.:
 - Four buildings with multiple restaurant and retail spaces located in the middle of the lots with surrounding parking.
 - Three drive-through facilities.
 - Two full access points from Equity Dr. and two right-out only exits, one onto Kirk Rd. (modified from current full access configuration) and one onto Legacy Blvd.

The following applications have been submitted to facilitate this project:

1. **Special Use (PUD Amendment)** – To amend the PUD ordinance to permit a gas station and reduce the parking setback from Equity Dr.
2. **PUD Preliminary Plan** – To approve site layout, engineering, and landscaping for the subject property to ensure compliance with the PUD ordinance and applicable provisions of the Zoning Ordinance

III. ANALYSIS

Staff has analyzed the submitted applications and plans for conformance with the standards established in the Legacy PUD Ordinance and the Zoning Ordinance, Title 17 of the City Code.

Revised preliminary engineering plans were submitted for this project on 5/17/19, prior to the Government Operations Committee meeting. The revised plans were reviewed on a cursory level

by Planning staff. The Analysis section of this staff report has been updated based on the revised plans.

A. PROPOSED USE

Permitted uses for the retail outlots in the Legacy PUD are provided in Exhibit III of the Legacy PUD Ordinance (attached). The uses are limited to general retail and service uses as well as professional offices. The types of businesses that can be established in the proposed shopping center will be limited to these uses.

Gas Station is not included as a permitted use. The applicant has requested to amend the PUD to permit a Gas Station on Outlot 4 (Lot 1).

“Gas Station” is defined in the Zoning Ordinance as follows:

An establishment offering for sale at retail to the public, fuels, oils and accessories for motor vehicles, which may also offer convenience goods such as food, beverages, and other items typically found in a convenience market. Gas Station does not include Motor Vehicle Service and Repair, Minor, as defined herein.

Gas Station is a permitted use only in the BC Community Business and BR Regional Business zoning districts. Gas Stations are not permitted in the manufacturing districts. The underlying zoning of the subject property is M-2 Limited Manufacturing. However, the subject property was identified in the Legacy PUD for retail and service uses, similar to the types of uses permitted in the BC and BR districts.

B. ZONING BULK STANDARDS

The table below compares the proposed plans with the applicable requirements of the Legacy PUD and the underlying M-2 zoning district. One deviation is required to accommodate the plan as proposed, denoted in ***bold italics***.

Category	Zoning Ordinance Or PUD Standard	Proposed – Gas Station	Proposed – Shopping Center
Max. Floor Area	12,000 sf/bldg.	5,880 sf	Rnage in size from 2,500 – 10,000 sf
Building Height	35 ft.	TBD	TBD
Building Setbacks:			
<i>Kirk Rd.</i>	40 ft.	74 ft.	91 ft.
<i>Legacy Blvd.</i>	15 ft.	191 ft.	82 ft.
<i>Equity Dr.</i>	25 ft.	100 ft.	76 ft.
<i>Interior lot lines</i>	5 ft.	11 ft.	26 ft.
Parking Setbacks:			
<i>Kirk Rd.</i>	40 ft.	42 ft.	40 ft.
<i>Legacy Blvd.</i>	15 ft.	44 ft.	29 ft.
<i>Equity Dr.</i>	25 ft.	<i>17.9 ft.</i>	<i>11 ft.</i>
<i>Interior lot lines</i>	5 ft.	27 ft.	10 ft.
Landscape Buffer	40 ft. where adjacent to residential zoning	40 ft.	N/A
Parking Requirement	Gas Station: 4/1000sf Restaurant: 10/1000 sf Carry-out Restaurant: 4/1000 sf Retail: 4/1,000 sf	23 spaces (24 required*)	177 spaces (parking requirement to be calculated based on proposed uses*)

The applicant has requested a deviation from the 25 ft. parking setback from Equity Dr., which is a setback requirement established in the Legacy PUD Ordinance. Proposed is a setback of about 18 ft. to the gas station parking lot and 11 ft. to the shopping center parking lot.

Staff Comments

- The number of gas station pumps has not been identified. The parking requirement for the gas station can be reduced by the number of pumps that can be accessed at any one time. Staff suggests the parking be reduced based on the number of pumps to minimize paved area and provide more landscaping.
- The parking table on Sheet C200 of the plans does not provide use and parking count information for Units K, L and M. The uses identified for Units A-J result in a parking requirement of 182 spaces, exceeding the 177 spaces provided. Tenants have not been identified for any of the units. As tenants are identified, the parking requirement will need to be recalculated to ensure adequate parking to meet code is provided.

C. GAS STATION

Gas stations are subject to the use standards contained in Section 17.20.030. Below staff has noted compliance with these standards.

1. Restaurants in gas stations shall be required to meet the parking requirements for restaurants in addition to those for gas stations.
 - *A restaurant has not been identified as part of the proposed gas station.*
2. Fuel pumps shall be located no closer than 20 feet from any lot line and shall be located so that a vehicle using the fuel pump does not encroach into the public right of way or onto adjoining property
 - *Exact location of fuel pumps has not been identified, however the proposed canopy is greater than 20 ft. from all lot lines and at an adequate distance so that vehicles using the pumps will not encroach into the ROW or adjacent property.*
3. Gas station canopies shall be subject to the lighting standards of Section 17.22.040 (Site Lighting). Gas station canopies shall also meet all applicable setback requirements for the principal building.
 - *The proposed canopy lighting meets the standards of Section 17.22.040, which are as follows:*

Luminaires mounted on gas station, drive-through and other outdoor canopies over vehicular use areas shall be a full cut-off design and shall be directed downward at an angle of no greater than 45 degrees from the vertical plane, or shall be completely recessed into the canopy with flat lenses, or shall be shielded by other means, to block direct view of the light sources as viewed from the property line at a height of three and one half feet (3 1/2') above grade.

 - *The gas station canopy meets the setback requirements for the principal building.*
4. The provisions hereof relating to Outdoor Sales shall apply if Outdoor Sales are included.
 - *Outdoor sales have not been identified. However, per Section 17.20.030, outdoor sales accessory to gas stations are permitted provided the sales area is limited to 30 sf multiplied by the number of pumps on the lot. The sales area(s) can only be located within the pump islands or on a sidewalk adjoining the building.*

D. DRIVE-THROUGH FACILITIES

Three drive-through facilities are shown on the shopping center site plan. The single-unit building (unit A) on the north end of the shopping center has a drive-through lane wrapping around the rear and north side of the building. Additional drive-through lanes are shown on the north and south sides of the two-unit building. The table below compares the plans with the requirements of Section 17.24.100 “Drive-Through Facilities”.

Category	Zoning Ordinance Standard	Proposed
Screened from Public Street	Stacking spaces concealed from view from public streets to greatest extent possible by orientation, design or screening	Meets requirement
Obstruction of Required Parking	Stacking spaces cannot obstruct access to required parking spaces	Meets requirement
Obstruction of Ingress/Egress	Location of stacking spaces cannot obstruct ingress/egress to the site or interfere with vehicle circulation	Meets requirement
Lane Configuration	Stacking spaces must be placed in a single line up to point of service	Unit A: 2 stacking lanes are shown* Units B & D: Meets requirement*
Stacking Spaces	Restaurant: 15 spaces Other (such as Coffee/Tea Room): 5 spaces	Unit A: 7 spaces (in single lane)* Unit B: 6 spaces* Unit D: 6 spaces*
Stacking Space Size	9' x 20'	Dimensions not shown

Staff Comments

- Two stacking lanes are shown for Unit A. Two stacking lanes are permitted, however stacking spaces to meet the stacking requirement must be provided in a single lane. The secondary lane could provide extra stacking.
- Stacking spaces are counted up to the point of service, which is typically a service window. Stacking spaces for Units B & D are shown along the entire side of the building. Depending on where the service window is located, fewer stacking than shown may be possible.
- It appears the stacking spaces are properly dimensioned at 9'x20' however the dimensions should be shown on the plan.
- Users for the drive-through tenant spaces have not been identified. Restaurants require 15 stacking spaces. A stacking reduction would need to be approved for any future restaurant users. The stacking reduction request would need to be based upon quantifiable evidence for the specific business proposed. Plan Commission would review the reduction request and provide a recommendation to the City Council.

E. SITE ACCESS

Access to the development will be primarily from Equity Dr. For the gas station, a right-in only entrance is proposed from Legacy Blvd. with a full access on Equity Dr. For the shopping center, two full access drives are proposed on Equity Dr., with a right-out only exit onto Legacy Blvd.

Also proposed is modification of the existing Kirk Rd. curb cut from a two-way drive to a right-out only. Kirk Rd. is a County highway under the jurisdiction of Kane County DOT. The applicant has provided the plans to KDOT for review. Other than this modification, the proposed site access is consistent with the approved PUD plans.

Sidewalks already exist along the street frontages and will remain. Pedestrian connections to the Kirk Rd. sidewalk are proposed from the gas station and the shopping center. Another pedestrian connection is proposed from the shopping center to the sidewalk along Legacy Blvd.

Staff Comment:

- Cross-access to the vacant lot to the north is shown. That property is intended for industrial use. The applicant has been asked to explain why cross-access is desired.

F. LANDSCAPING

A landscape plan has been submitted indicating parking lot and street frontage landscaping as well as foundation plantings for the gas station. Foundation landscape beds are shown around the shopping center buildings; however plantings in these areas will be finalized on a separate plan once building plans are finalized. These plans will be reviewed by staff at the time of building permit for consistency with the overall landscape plan and Ch. 17.26 “Landscaping & Screening”.

The table below compares the submitted plan with the applicable requirements of the Legacy PUD and Ch. 17.26. With some modification it appears all standards can be met (see comments).

Category	Zoning Ordinance Or PUD Standard	Proposed
Overall Landscape Area	15%	Gas Station: 38% Shopping Center: 29%
Landscape Buffer	40 ft. adjacent to residential zoning	<i>Applies to gas station; 17 shade trees OR 34 evergreen trees required; 6 trees provided*</i>
Public Street Frontage Landscaping	1 tree / 50 ft. of street frontage 75% of street frontage (Kirk: 16 trees Legacy: 8 trees Equity: 15 trees)	Kirk: 17 trees Legacy: 11 trees Equity: 14 trees 75% requirement is met*
Parking Lot Screening	50% of parking lot to height of 30”	Meets requirement
Interior Parking Lot Landscape Area	1 landscape island / 10 parking spaces All parking rows terminate in landscape area	Meets requirement
Parking Lot Landscape Materials	1 tree per island Variety of plantings in islands	Meets requirement
Building Foundation Landscaping		
<i>Foundation Planting Beds</i>	50% of total building walls; 50% of walls facing a public street 5 ft. wide planting beds	Gas Station: meets requirement Shopping Center: meets requirement
<i>Foundation Plantings</i>	20 shrubs/bushes/perennials per 50 ft. of planting bed	<i>Gas Station: Additional plantings needed*</i> Shopping Center: TBD with building plans
<i>Foundation Trees</i>	2 trees per 50 ft. of planting bed	Gas Station: <i>2 more trees needed</i> Shopping Center: TBD with building plans
Monument Sign Landscaping	3 ft. around sign	Meets requirement
Refuse Dumpster Screening	Enclosed and screened on all sides when visible from public street	TBD with building plans

Staff Comments:

- A 40 ft. landscape buffer is required along a portion of the gas station street frontage due to residential zoning across Kirk Rd. The buffer requirement applies to the southern 170 ft. of the gas station property where it is across from RS-4 zoning. The first 20 ft. of the buffer should be relatively open with landscaping. Screening by means of berming, landscaping, or fencing to a height of 6 ft. is required within the buffer a minimum of 20 ft. from the right-of-way. The buffer area and resulting planting requirement needs to be recalculated on the landscape plan. Additional trees are needed within the buffer. Trees are prohibited within the utility easements which cover the first 27.5 ft. of the setback area. However, it appears additional trees can be added outside of the easements, still within the 40 ft. buffer yard.
- Street frontage landscaping (not including trees due to utility easements) within the 40 ft. setback along Kirk Rd. should be shifted west, closer to the street to create a pattern similar to the approved PUD landscape plan.
- Additional plantings and trees are needed to meet the building foundation planting requirement for the gas station. The planting requirement indicated on the landscape plan needs to be recalculated based on the length of planting beds rather than length of building wall. This will reduce the number of required trees and plantings. Also, a greater variety of plantings in addition to the proposed Boxwoods should be incorporated along the front of the building.

G. BUILDING ARCHITECTURE

Architectural guidelines for the Legacy retail buildings are provided in Exhibit VII of the Legacy PUD Ordinance (see attached). These guidelines are similar to the Zoning Ordinance Design Standards and Guidelines applicable to commercial zoning districts.

Building elevations have not been submitted for review. Instead, conceptual renderings of the gas station and shopping center buildings have been provided. The renderings show a consistent building design for the development. Brick is the primary wall material with stone accents. The flat rooflines vary in height and portions of the shopping center building walls are projected. The renderings do not show the sides or rear of the buildings nor do they identify height or material specifications.

It is typical for detailed architectural elevations to be approved as part of a PUD Preliminary Plan, along with engineering and landscape plans. However the applicant is requesting approval of the proposed conceptual renderings with more detailed plans to be provided to the City once the buildings are fully designed. Staff would review each building against the PUD architectural guidelines and the conceptual renderings. Plans would be approved administratively at the time of building permit if they are in substantial conformance. Otherwise, either a Minor Change to PUD or a new PUD Preliminary Plan approval would be required, depending on what is proposed. This review process is consistent with the rest of the Legacy Business Center; the Legacy PUD Ordinance includes conceptual renderings for the industrial buildings with staff-level approval of the building elevations as each lot is developed.

Staff Comments:

- An additional deviation may be needed regarding window transparency due to the lots having multiple street frontages. One requirement contained in the Legacy PUD architectural guidelines states the following:

“Windows should be provided on any wall facing a public street or parking lot accessory to the building so that the first floor is transparent from a height of 18 inches to a minimum of 7 feet above the walkway grade for no less than 60% of the horizontal length of the façade, and should include a public entrance. Windows shall be clear glass (no

tinted or reflective glass), recessed or projected in the wall plane to create shadow and visual interest, and should include visually prominent sill or other appropriate forms of framing. Awnings, pilasters or columns may be used to accentuate window openings and add interest to the design of the building.”

Based on this language, the window transparency requirement applies to the Kirk Rd., Legacy Blvd., and Equity Dr. elevations. It may be difficult to meet this standard on the rear elevations of the shopping center buildings which face Equity Dr. A deviation could be requested to amend this provision to apply only to the Kirk Rd. and Legacy Blvd. elevations.

H. SIGNAGE

Sign requirements are provided in Exhibit V of the Legacy PUD Ordinance. One monument sign is permitted per lot with a maximum sign face area of 30 sf and maximum height of 10 ft. There is no limitation on the number of wall signs. One monument sign is proposed per lot, in conformance with the PUD. Plans for the signs have not been provided at this time and will be reviewed at a later date alongside the building plans.

I. LIGHTING

Site lighting requirements are provided in Exhibit VIII of the Legacy PUD Ordinance. A photometric plan has been submitted for the gas station. The plan conforms to the applicable requirements. A photometric plan for the shopping center will be required once the building plans are finalized.

J. ENGINEERING REVIEW

Revised engineering plans have been submitted and are under review. Any outstanding staff comments will need to be resolved prior to City Council approval of the PUD Preliminary Plan.

IV. **PLAN COMMISSION RECOMMENDATION**

Plan Commission held a public hearing on 4/16/19 and voted 9-0 to recommend approval, subject to the following:

1. Resolution of all staff comments prior to City Council action.
2. Traffic and parking concerns discussed during the hearing shall be submitted to the Police Department for review and resolution prior to City Council approval.

At the hearing, Commissioners expressed concern for the impact of additional activity from the gas station on the subject portion of Rukel Way/Equity Dr. The two-way access into the proposed gas station is on the west side of Rukel Way (formerly Equity Dr.), near its intersection with Legacy Blvd. Goldfish Swim School is located across Rukel Way from the proposed gas station. Goldfish customers routinely park on both sides of Rukel. Rukel also serves as an employee and delivery access into AJR filtration which is directly south of the proposed gas station.

The owner of Goldfish was in attendance at the hearing and stated he plans to construct overflow parking on the lot to the east of Goldfish which should alleviate on-street parking on Rukel. Regardless, staff discussed these concerns with the Police Department’s Traffic Safety Officer. He provided a determination that parking should be restricted on both sides of Rukel Way between Legacy and the entrance to AJR in anticipation of the entry/exit traffic from the gas station. This parking restriction will require City Council approval. If the Committee moves the development applications on to City Council for ordinance approval, the ordinance approving the parking restriction will be on the same Council meeting agenda.

Commissioners also expressed concerns that Rukel/Equity at Legacy Blvd. is not a four-way stop, but rather a three-way stop with no stop for vehicles turning into the development from Kirk Road, heading eastbound on Legacy. They questioned whether additional traffic controls would be warranted as a result of increased traffic from the proposed development, particularly the gas station.

The Traffic Safety Officer and Public Works Engineering provided input on whether modification of this intersection into a four-way stop would be appropriate. It was noted there is approximately 360 ft. between the entrance off Kirk Rd. and the subject intersection. Motorists turning into the development would likely be surprised if required to stop. A four-way stop may also cause clustered traffic, particularly on weekends for sporting events at East Side Sports Complex. Also, Police is unaware of any significant crash history at this intersection. It was determined that signage stating eastbound traffic does not stop will be added underneath the existing stop signs.

V. ATTACHMENTS

- Application for Special Use (PUD Amendment); received 11/10/17
- Application for PUD Preliminary Plan; received 11/10/17
- Plans; revised 5/14/19
- Excerpts from Ordinance 2006-Z-3

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984



COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

SPECIAL USE APPLICATION

(To request a Special Use or Amendment, or a Special Use for PUD or Amendment)

For City Use	
Project Name:	<u>Legacy Center PUD</u>
Project Number:	<u>2017</u> -PR- <u>017</u>
Application Number:	<u>2017</u> -AP- <u>042</u>



To request a Special Use for a property, or to request to amend an existing Special Use Ordinance for a property, complete this application and submit it with all required attachments to the Planning Division.

City staff will review submittals for completeness and for compliance with applicable requirements prior to establishing a public hearing date for an application.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Kirk Road and Legacy Boulevard	
	Parcel Number (s): 09-36-326-001, 09-36-326-002, 09-36-326-003, 09-36-328-001	
	Proposed Name: Legacy Center PUD	
2. Applicant Information:	Name J. TRISIS HOLDINGS, LLC	Phone 630.762.3750
	Address 882 EQUITY DRIVE ST. CHARLES, IL 60174	Fax
		Email dan.venard@yahoo.com
3. Record Owner Information:	Name SAME AS ABOVE	Phone
	Address	Fax
		Email

Please check the type of application:

- Special Use for Planned Unit Development - PUD Name:** _____
 - New PUD
 - Amendment to existing PUD- Ordinance #: 2006-Z-3
 - PUD Preliminary Plan filed concurrently

- Other Special Use (from list in the Zoning Ordinance):** _____
 - Newly established Special Use
 - Amendment to an existing Special Use Ordinance #: _____

Information Regarding Special Use:

Comprehensive Plan designation of the property: Industrial/Business Park

Is the property a designated Landmark or in a Historic District? No

What is the property's current zoning? M-2

What is the property currently used for? Outlets part of the Legacy Business Park

If the proposed Special Use is approved, what improvements or construction are planned?
Construction of a Gas Station, retail/restaurant development, parking, and associated infrastructure.

For Special Use Amendments only:

Why is the proposed change necessary?

What are the proposed amendments? (Attach proposed language if necessary)
Amend the existing PUD to allow for a gas station. Amend existing PUD to allow 10 ft setback along Equity Drive to meet the required setback and parking for the shopping center

Note for existing buildings:

If your project involves using an existing building, whether you plan to alter it or not, please contact the St. Charles Fire Department (630-377-4458) and the Building and Code Enforcement Division (630-377-4406) for information on building, life safety and other code requirements. Depending on the proposed use, size of structure and type of construction, these requirements can result in substantial costs.

Attachment Checklist:

If multiple zoning or subdivision applications will be submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

☒ APPLICATION FEE:

Application fee in accordance with Appendix B of the Zoning Ordinance. (Special Use for PUD \$1,000; all other Special Use requests \$750)

☒ REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

☒ REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

☒ PROOF OF OWNERSHIP and DISCLOSURE:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ LEGAL DESCRIPTION: For entire subject property, on 8 1/2 x 11 inch paper

☒ PLAT OF SURVEY:

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ FINDINGS OF FACT:

Fill out the attached forms or submit responses on a separate sheet (*Submit "Criteria for PUD" for any PUD application; "Findings for Special Use" for all other Special Use applications.*)

☒ LIST OF PROPERTY OWNERS WITHIN 250 FT.:

Fill out the attached form or submit on a separate sheet. The form or the list must be signed and notarized.

☒ SOIL AND WATER CONSERVATION DISTRICT APPLICATION:

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ ENDANGERED SPECIES REPORT:

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☐ TRAFFIC STUDY: If requested by the Director of Community Development.

Staff will advise you whether a traffic study is recommended based on the project. Regardless, the Plan Commission or City Council may request a traffic study as a part of the review process.

☒ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☐ SITE PLAN (Note: For a Special Use for PUD, submit PUD Preliminary Plan Application in lieu of Site Plan)

A plan or plans showing the following information:

1. Accurate boundary lines with dimensions
2. Streets on and adjacent to the tract: Name and right-of-way width
3. Location, size, shape, height, and use of existing and proposed structures
4. Location and description of streets, sidewalks, and fences
5. Surrounding land uses
6. Date, north point, and scale
7. Ground elevation contour lines
8. Building/use setback lines
9. Location of any significant natural features
10. Location of any 100-year recurrence interval floodplain and floodway boundaries
11. Location and classification of wetland areas as delineated in the National Wetlands Inventory
12. Existing zoning classification of property
13. Existing and proposed land use
14. Area of property in square feet and acres
15. Proposed off-street parking and loading areas
16. Number of parking spaces provided, and number required by ordinance
17. Angle of parking spaces
18. Parking space dimensions and aisle widths
19. Driveway radii at the street curb line
20. Width of driveways at sidewalk and street curb line

- 21. Provision of handicapped parking spaces
- 22. Dimensions of handicapped parking spaces
- 23. Depressed ramps available to handicapped parking spaces
- 24. Location, dimensions and elevations of freestanding signs
- 25. Location and elevations of trash enclosures
- 26. Provision for required screening, if applicable
- 27. Exterior lighting plans showing:
 - a. Location, height, intensity and fixture type of all proposed exterior lighting
 - b. Photometric information pertaining to locations of proposed lighting fixtures

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

 _____ 11.9.17
Record Owner Date


Applicant or Authorized Agent Date

**OWNERSHIP DISCLOSURE FORM
LIMITED LIABILITY COMPANY (L.L.C.)**

STATE OF ILLINOIS)
) SS.
KANE COUNTY)

I, RYAN SHELEY, being first duly sworn on oath depose and say that I am
Manager of J. TRISIS HOLDINGS LLC., an Illinois Limited Liability
Company (L.L.C.), and that the following persons are all of the members of the said L.L.C.:

<u>PATRICIA SHELEY</u>	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

By: , Manager

Subscribed and Sworn before me this 9th day of
November, 2017.

INGRID MONTENEGRO
Official Seal
Notary Public - State of Illinois
My Commission Expires Sep 15, 2020


Notary Public

CRITERIA FOR PLANNED UNIT DEVELOPMENTS (PUDs)



For Special Use for PUD or PUD Amendment applications.

The St. Charles Zoning Ordinance requires the Plan Commission to consider the criteria listed below in making a recommendation to the City Council on whether a proposed Planned Unit Development is in the public interest.

As the applicant, the "burden of proof" is on you to provide information that addresses the criteria below in order to demonstrate that the project is in the public interest.

(You may utilize this form or provide the responses on another sheet.)

East Side Retail
PUD Name

Date

From the St. Charles Zoning Ordinance, Section 17.04.410.3:

The Plan Commission shall not favorably recommend, and the City Council shall not approve, a Special Use for a PUD or an amendment to a Special Use for a PUD unless they each make findings of fact based on the application and the evidence presented at the public hearing that the PUD is in the public interest, based on the following criteria:

i. The proposed PUD advances one or more of the purposes of the Planned Unit Development procedure stated in Section 17.04.400.A:

1. To promote a creative approach to site improvements and building design that results in a distinctive, attractive development that has a strong sense of place, yet becomes an integral part of the community.
2. To create places oriented to the pedestrian that promote physical activity and social interaction, including but not limited to walkable neighborhoods, usable open space and recreational facilities for the enjoyment of all.
3. To encourage a harmonious mix of land uses and a variety of housing types and prices.
4. To preserve native vegetation, topographic and geological features, and environmentally sensitive areas.
5. To promote the economical development and efficient use of land, utilities, street improvements, drainage facilities, structures and other facilities.
6. To encourage redevelopment of sites containing obsolete or inappropriate buildings or uses.
7. To encourage a collaborative process among developers, neighboring property owners and residents, governmental bodies and the community

This PUD integrates new commercial businesses into the community along Kirk Road.

ii. **The proposed PUD and PUD Preliminary Plans conform to the requirements of the underlying zoning district or districts in which the PUD is located and to the applicable Design Review Standards contained in Chapter 17.06, except where:**

- A. **Conforming to the requirements would inhibit creative design that serves community goals, or**
- B. **Conforming to the requirements would be impractical and the proposed PUD will provide benefits that outweigh those that would have been realized by conforming to the applicable requirements.**

Factors listed in Section 17.04.400.B shall be used to justify the relief from requirements:

1. The PUD will provide community amenities beyond those required by ordinance, such as recreational facilities, public plazas, gardens, public art, pedestrian and transit facilities.
2. The PUD will preserve open space, natural beauty and critical environmental areas in excess of what is required by ordinance or other regulation.
3. The PUD will provide superior landscaping, buffering or screening.
4. The buildings within the PUD offer high quality architectural design.
5. The PUD provides for energy efficient building and site design.
6. The PUD provides for the use of innovative stormwater management techniques.
7. The PUD provides accessible dwelling units in numbers or with features beyond what is required by the Americans with Disabilities Act (ADA) or other applicable codes.
8. The PUD provides affordable dwelling units in conformance with, or in excess of, City policies and ordinances.
9. The PUD preserves historic buildings, sites or neighborhoods.

East Side Retail Center north of Legacy Drive conforms with the original PUD established for the Legacy Business Park. The southern parcel serves as an ideal location for a gas station and convenience stores. This Amendment shall provide services for the East Side Sportsplex visitors, Legacy Business Park tenants, hundreds of employees at Air Filtration and Pillow Health as well as the 25,000 vehicles that travel on Kirk Road daily.

iii. The proposed PUD conforms with the standards applicable to Special Uses (section 17.04.330.C.2):

A. Public Convenience: The Special Use will serve the public convenience at the proposed location.

~~Yes, 25,000 vehicles travel on Kirk Road daily and our development will provide a convenience store and gas station that are not available on Kirk Road in St. Charles. Additionally, our development will aid the surrounding business park tenants and those visibing the East Side Sports Complex.~~

B. Sufficient Infrastructure: That adequate utilities, access roads, drainage and/or necessary facilities have been, or are being, provided.

Utilities have been provided to the site, stubbed at various points noted on plans.

C. Effect on Nearby Property: That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair property values within the neighborhood.

~~The Special Use will enhance the surrouding neighborhood by providing new commercial spaces for retail and restaurant at the East Side Retail Center near the East Side Sports Complex.~~

D. Effect on Development of Surrounding Property: That the establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Surrounding property will not be affected by the proposed development.

E. Effect on General Welfare: That the establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort or general welfare.

General welfare to surrounding property neighbors will not be impacted with the proposed development.

- F. Conformance with Codes: That the proposed Special Use conforms to all existing Federal, State and local legislation and regulation and meets or exceeds all applicable provisions of this Title, except as may be varied pursuant to a Special Use for Planned Unit Development.

The proposed Special Use conforms to all regulations with exception to local road setbacks. This will be a variance to be determined.

- iv. **The proposed PUD will be beneficial to the physical development, diversity, tax base and economic well-being of the City.**

The proposed PUD will bring new commercial businesses along Kirk Road.

- v. **The proposed PUD conforms to the purposes and intent of the Comprehensive Plan.**

In the Comprehensive Plan, in the East Gateway Subarea section, it is noted that 25,000 cars travel North-South on Kirk Road daily. Additionally, it states that this area represents a significant piece of the local economy as well as the need to improve the appearance of Kirk Road businesses to strengthen the identity of St. Charles in this area. Also consistent within the Comp. Plan, this parcel is surrounded by a healthy business park and new industrial companies, such as AJR Filtration and Pillow Health. This building materials proposed for East Side Retail are consistent with the Comp Plan Design Guidelines as well as the Legacy Business Park Covenants, Conditions and Restrictions.

CITY OF ST. CHARLES
TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

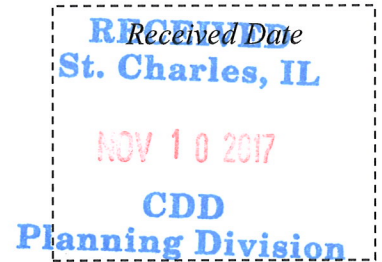


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

PUD PRELIMINARY PLAN APPLICATION

For City Use	
Project Name:	<u>Legacy Center PUD</u>
Project Number:	<u>2017</u> -PR- <u>017</u>
Application Number:	<u>2017</u> -AP- <u>043</u>



To request approval of a PUD Preliminary Plan, complete this application and submit it with all required plans and attachments to the Planning Division. Normally this application will track with an application for Special Use for a PUD, unless a Special Use for a PUD has previously been granted and no amendment is necessary.

When the application is complete staff will distribute the plans to other City departments for review. When the staff has determined that the plans are ready for Plan Commission review, we will place the PUD Preliminary Plan on a Plan Commission meeting agenda.

The information you provide must be complete and accurate. If you have a question please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Kirk Road and Legacy Boulevard	
	Parcel Number (s): 09-36-326-001, 09-36-326-002, 09-36-326-003, 09-36-328-001	
	Proposed PUD Name: Legacy Center PUD	
2. Applicant Information:	Name <u>J. TRISIS HOLDINGS, LLC</u>	Phone <u>630.762.3750</u>
	Address <u>882 EQUITY DRIVE</u> <u>ST. CHARLES, IL 60174</u>	Fax
		Email <u>dan.venard@yahoo.com</u>
3. Record Owner Information:	Name <u>SAME</u>	Phone
	Address	Fax
		Email

Please check the type of application:

- New proposed PUD- Planned Unit Development (Special Use Application filed concurrently)
- Existing PUD-Planned Unit Development
 - PUD Amendment Required for proposed plan (Special Use Application filed concurrently)

Subdivision of land:

- Proposed lot has already been platted and a new subdivision is not required.
- New subdivision of property required:
 - Final Plat of Subdivision Application filed concurrently
 - Final Plat of Subdivision Application to be filed later

Attachment Checklist:

If multiple zoning or subdivision applications are being submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

Note: The City Staff, Plan Commission, or City Council, may request other pertinent information during the review process.

APPLICATION FEE: Application fee in accordance with Appendix B of the Zoning Ordinance. (\$500)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

- a) a current title policy report; or
- b) a deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

☒ **LEGAL DESCRIPTION:** For entire subject property, on 8 ½ x 11 inch paper

☒ **PLAT OF SURVEY:**

A current plat of survey for the Subject Realty showing all existing improvements on the property, prepared by a registered Illinois Professional Land Surveyor.

☒ **SOIL AND WATER CONSERVATION DISTRICT APPLICATION:**

Copy of completed Land Use Opinion application as required by state law, as submitted to The Kane-Dupage Soil and Water Conservation District. <http://www.kanedupageswcd.org/>

Submit the application form and fee directly to the Kane-DuPage Soil and Water Conservation District. Provide a copy with this application.

☒ **ENDANGERED SPECIES REPORT:**

Copy of Endangered Species Consultation Agency Action to be filed with the Illinois Department of Natural Resources. <http://dnr.illinois.gov/EcoPublic/>

Fill out the online form, print the report and submit with this application.

☒ **PLANS:**

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Initial Submittal - Ten (10) full size copies for non-residential projects OR Twelve (12) full size copies for residential projects; Three (3) 11" by 17"; and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

☒ **SITE/ENGINEERING PLAN:**

PRELIMINARY ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Preliminary Engineering Plans:

1. Accurate boundary lines with dimensions
2. Existing and proposed easements: location, width, purpose
3. Streets on and adjacent to the tract: Name and right-of-way width, center line elevation, and culverts
4. Location, size, shape, height, and use of existing and proposed structures
5. Location and description of streets, sidewalks, and fences
6. Surrounding land uses
7. Legal and common description
8. Date, north point, and scale
9. Existing and proposed topography
10. All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with

the proposal indicated

11. Location of utilities
12. Building/use setback lines
13. Location of any significant natural features
14. Location of any 100-year recurrence interval floodplain and floodway boundaries
15. Location and classification of wetland areas as delineated in the National Wetlands Inventory
16. Existing zoning classification of property
17. Existing and proposed land use
18. Area of property in square feet and acres
19. Proposed off-street parking and loading areas
20. Number of parking spaces provided, and number required by ordinance
21. Angle of parking spaces
22. Parking space dimensions and aisle widths
23. Driveway radii at the street curb line
24. Width of driveways at sidewalk and street curb line
25. Provision of handicapped parking spaces
26. Dimensions of handicapped parking spaces
27. Depressed ramps available to handicapped parking spaces
28. Location, dimensions and elevations of freestanding signs
29. Location and elevations of trash enclosures
30. Provision for required screening, if applicable
31. Provision for required public sidewalks
32. Certification of site plan by a registered land surveyor or professional engineer
33. Geometric plan showing all necessary geometric data required for accurate layout of the site
34. Grading plans showing paving design, all storm sewers, and detention/retention facilities including detention/retention calculations) and erosion control measures
35. Utility plans showing all storm sewers, sanitary sewers, watermains, and appropriate appurtenant structures
36. Exterior lighting plans showing:
 - Location, height, intensity and fixture type of all proposed exterior lighting
 - Photometric information pertaining to locations of proposed lighting fixtures
37. Typical construction details and specifications
38. Certification of site engineering plans by a registered professional engineer
39. Proof of application for Stormwater Management Permit

□ **SKETCH PLAN FOR LATER PHASES OF PUD:**

For phased PUD's, where a sketch plan is permitted, it shall include, at minimum, the following:

- General location of arterial and collector streets
- Location of any required landscape buffers
- Location of proposed access to the site from public streets
- Maximum number of square feet of floor area for nonresidential development
- Maximum number of dwelling units for residential development
- Open space and storm water management land

☒ ARCHITECTURAL PLANS:

Architectural plans and data for all principal buildings shall be submitted in sufficient detail to permit an understanding of the exterior appearance and architectural style of the proposed buildings, the number, size and type of dwelling units, the proposed uses of nonresidential and mixed use buildings, total floor area and total building coverage of each building.

☐ TREE PRESERVATION PLAN:

Tree Preservation Plan when required in accordance with Chapter 8.30 of the St. Charles Municipal Code. The information required for this plan may be included as part of the Landscape Plan set. See attachment, "Tree Preservation Requirements for Preliminary Plans".

☒ LANDSCAPE PLAN:

Landscape Plan showing the following information:

1. Delineation of the buildings, structures, and paved surfaces situated on the site and/or contemplated to be built thereon
2. Delineation of all areas to be graded and limits of land disturbance, including proposed contours as shown on the Site/Engineering Plan.
3. Accurate property boundary lines
4. Accurate location of proposed structures and other improvements, including paved areas, berms, lights, retention and detention areas, and landscaping
5. Site area proposed to be landscaped in square feet and as a percentage of the total site area
6. Percent of landscaped area provided as per code requirement
7. Dimensions of landscape islands
8. Setbacks of proposed impervious surfaces from property lines, street rights-of-way, and private drives
9. Location and identification of all planting beds and plant materials
10. Planting list including species of all plants, installation size (caliper, height, or spread as appropriate) and quantity of plants by species
11. Landscaping of ground signs and screening of dumpsters and other equipment

☒ STORMWATER MANAGEMENT:

Written information (reports, calculations, etc.) as described in the Stormwater Management Requirements for Preliminary Plans (attached)

☐ SUBDIVISION PLAT DRAWING REQUIREMENTS/CHECKLIST:

If the PUD Preliminary Plan involves the subdivision of land, a completed Subdivision Plat Drawing Requirements Checklist must be submitted.

☒ PUBLIC BENEFITS, DEPARTURES FROM CODE:

A description of how the PUD meets the purposes and requirements set out in Section 17.04.400 of the Zoning Ordinance. Any requests for departures from the requirements of Title 16, "Subdivisions and Land Improvement," and Title 17, "Zoning," shall be listed and reasons for requesting each departure shall be given.

☐ SCHEDULE: Construction schedule indicating:

- a. Phases in which the project will be built with emphasis on area, density, use and public facilities, such as open space, to be developed with each phase. Overall design of each phase shall be shown on the plat and through supporting material.
- b. Approximate dates for beginning and completion of each phase.
- c. If different land use types are to be included within the PUD, the schedule must include the mix of uses to be built in each phase.

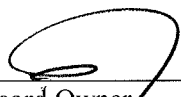
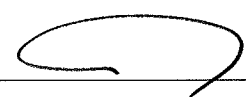
☐ PARK AND SCHOOL LAND/CASH WORKSHEETS

For residential developments, Park and School land/cash worksheets in accordance with Title 16 of the St. Charles Municipal Code with population projections establishing anticipated population and student yields.

☐ INCLUSIONARY HOUSING SUMMARY

For residential developments, submit information describing how the development will comply with the requirements of Title 19, "Inclusionary Housing" of the St. Charles Municipal Code.

I (we) certify that this application and the documents submitted with it are true and correct to the best of my (our) knowledge and belief.

  11.9.17
Record Owner Date

SAME
Applicant or Authorized Agent Date

Layout Tab Name: C001 GENERAL NOTES, Images, Xrefs: 07/16/2019 3:41:47 PM
L:\E:\Clients\Propy Construction Group\07/16/2019\16k_Road Retain - St. Charles, IL\0 - Disinfectant\Civil\Sheet\CO01-071621-C001-16K.dwg
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Theresa Byrnerfeldt, Theresa Byrnerfeldt, 14_2010_45212_PN

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO THE START OF WORK. ANY DISCREPANCIES FOUND SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CORRECTED AND CORRECTED BY THE ENGINEER.
2. THE ACCURACY AND COMPLETE INCLUSION OF THE LOCATIONS OF EXISTING UTILITIES IS NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY HAVE BEEN IDENTIFIED BY THE CITY OF ST. CHARLES. ANY DAMAGED UTILITIES DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ENGINEER. PROJECT OWNER AND UTILITY OWNER, BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. ALL LOT IRONS DAMAGED OR REMOVED DURING CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY THE ENGINEER AND SAID COST OF REPLACEMENT SHALL BE PAID BY THE CONTRACTOR.
4. ALL SITE IMPROVEMENTS, INCLUDING STORM WATER DRAINAGE (BUT NOT WATER MAIN AND SANITARY SEWER) SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION," ADOPTED APRIL 1, 2016 WITH ALL SUBSEQUENT SUPPLEMENTS, AND THE CITY OF ST. CHARLES, IN CASE OF CONFLICT, THE LATTER SHALL TAKE PRECEDENCE.
5. ALL SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, UNLESS OTHERWISE NOTED.
6. ALL SEWERS AND WATER MAINS WHICH FALL WITHIN THREE FEET OF EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH AGGREGATE CA-7 OR OTHER APPROVED GRANULAR MATERIAL. THE GRAVEL SHALL EXTEND A DISTANCE OF 2'-0" BEYOND THE PAVEMENT AND EXTEND DOWN FROM THAT POINT AT A 1:1 SLOPE, AWAY FROM THE PAVEMENT.
7. ALL NEW AND EXISTING STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSTALLATION. WORK ADJUSTMENTS UPWARD SHALL BE MADE USING PRECAST CONCRETE ADJUSTMENT RINGS, BUT NO MORE THAN 8" OF RINGS SHALL BE USED. IF THE TOTAL HEIGHT OF ALL ADJUSTMENTS EXCEEDS 8", THEN ADJUSTMENTS SHALL BE MADE BY INTERCHANGING AND/OR REPLACING COMPLETE BARREL SECTIONS TO ACHIEVE DESIRED ELEVATIONS.
8. WHENEVER A SEWER CROSSES UNDER A WATER MAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATER MAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN ALL SEWERS AND SEWER MAINS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF THE SEWER IS LAID IN A TRENCH WITH THE WATER MAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH KEEPING A MINIMUM OF 18" VERTICAL SEPARATION, IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED ABOVE CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THEN WITHIN A DISTANCE OF 10 FEET ON EITHER SIDE OF THE WATER MAIN, THE SEWER PIPES SHALL BE CAST IRON OR DUCTILE IRON.
9. PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROSECUTION OF THIS WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL CALL THE ATTENTION OF THE ENGINEER TO ANY MATERIAL OR EQUIPMENT HE DEEMS INADEQUATE AND TO ANY ITEM OF WORK OMITTED.
10. ALL EXISTING SEPTIC SYSTEMS ARE TO BE ABANDONED. ABANDONED TANKS ARE TO BE FILLED TO OR REMOVED BY A LICENSED SEPTIC SYSTEM CONTRACTOR. CERTIFICATES SHALL BE FURNISHED, SUBMITTED AND APPROVED BY THE APPROPRIATE HEALTH DEPARTMENT PRIOR TO ACCEPTANCE OF THE WORK.
11. A LICENSED WELL DRILLER SHALL CAP ALL WELLS IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS. CERTIFICATES SHALL BE FURNISHED, SUBMITTED AND APPROVED BY THE APPROPRIATE HEALTH DEPARTMENT PRIOR TO ACCEPTANCE OF THE WORK.

PAVEMENT & CONCRETE CONSTRUCTION

1. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATION BEGINS.
2. ALL CURBS CONSTRUCTED OR REPLACED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO #4 REBARS FOR A LENGTH OF 20 FEET CENTERED OVER THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING #3 REBARS.
3. CONNECTION JOINTS SHALL BE CONSTRUCTED AT TEN (10) FOOT MINIMUM INTERVALS. THE GRANULAR CURB BASE SHALL BE A MINIMUM OF THREE (3) INCHES OF 3/8" TO 1/2" OPEN GRADED GRANULAR MATERIAL TO ALLOW FOR PROPER SUBGRADE DRAINAGE. COMPACTED CURBS SHALL BE SHAPED PARALLEL TO THE CURB FLOW LINE AND POSITIVELY DRAINED TO THE INLETS AND CATCH BASINS. ALL PAVEMENT SHALL BE CONSTRUCTED ON A SELECT COMPACTED SUBGRADE, GRADED PARALLEL TO THE FINISH SURFACE.
4. EXPANSION JOINTS SHALL BE REQUIRED AT ALL POINTS OF CURVATURE, AT BOTH ENDS OF ALL DRAINAGE STRUCTURES AND ALL LOCATIONS WHERE THE SIDEWALK ADJUTS THE CONCRETE CURB AND GUTTER.
5. CURB AND GUTTER SHALL BE CONSTRUCTED AND TIED INTO EXISTING P.C.C. PAVEMENT IN ACCORDANCE WITH I.D.O.T. STANDARDS 606001 AND 420001
6. ALL CONCRETE CURB AND GUTTER SHALL BE SEALED WITH W.R. MEADOWS T1444 SEALANT OR APPROVED EQUAL, IMMEDIATELY AFTER SEVEN (7) DAYS OF CURING AT A RATE OF 300 SF PER GALLON UTILIZING A SPRAY APPLICATION. THE SURFACE MUST BE THOROUGHLY CLEAN AND DRY OF APPLICATION.

GRADING NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR SURFACE UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND THE OWNER, OR REPLACED.
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. CONTRACTOR TO PERFORM PAVEMENT RESTORATION FOR ALL UTILITY INSTALLATION AND RELOCATION WITHIN PAVEMENT LIMITS.
5. THE GRADING AND CONSTRUCTION OF STREET AND PARKING LOT IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.
6. STREET PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND IF DAMAGED SHALL BE REPLACED TO MEET STATE AND LOCAL STANDARDS AND SPECIFICATIONS ON MATERIAL AND WORKMANSHIP.
7. UNSUITABLE MATERIAL ENCOUNTERED IN EXCAVATION FOR STREETS, BUILDING PADS AND PARKING LOTS SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
8. THE SOIL INVESTIGATION REPORT FOR THE SITE, AND ALL APPENDA AND MATERIALS OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE, ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SPECIFIC LOCATION. SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
10. ALL FIELD THE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
11. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF ST. CHARLES AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
- 11.1. ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
12. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
13. LOCAL MUNICIPAL REQUIREMENTS.
14. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
15. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAYS, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
16. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
17. INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
18. ALL ROOF LATERALS OUT OF THE BUILDING SHALL BE 6" PVC SDR 26 UNLESS OTHERWISE NOTED.
19. PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
20. GRADES SHOWN ARE FINISHED GRADES. LANDSCAPED AREAS TO HAVE MINIMUM 6 INCHES OF TOPSOIL RESPAER.
21. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND ISLANDS.
22. IN CASE OF ANY CONFLICT, MUNICIPAL SPECIFICATIONS, STANDARDS, AND DETAILS SHALL BE FOLLOWED.
23. ALL DETENTION PONDINGS SHALL HAVE A TWO FOOT THICK CLAY LINER BETWEEN THE BOTTOM OF THE POND AND THE NORMAL WATER LEVEL.
24. ALL FLARED END SECTIONS SHALL HAVE A GRATE INSTALLED.
25. ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".
26. THE SLOPE BETWEEN TWO ELEVATIONS SHOWN ON THE GRADING PLAN SHALL BE 1% PREPARED FILLED WITH WATER TO EXHIBIT PROPER CONVEYANCE OR REVERSAL OF SLOPE BETWEEN TWO MARKED POINTS.
27. ALL OPEN LID GRATES IN GRASSY AREAS TO BE BEEHIVE STYLE GRATES. (DOT TY. 8).
28. SLOP ELEVATIONS AT THE IN IN EXISTING CURB OR PAVEMENT ARE APPROXIMATE. CONTRACTOR TO MATCH EXISTING ELEVATIONS.

WATER NOTES

1. ALL WATER MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE CITY OF ST. CHARLES.
2. ALL WATER SERVICES 2 INCHES AND SMALLER SHALL BE TYPE K-TYPE COPPER WITH NO COUPLINGS OTHER THAN FOR CURB STOPS TO BE INCLUDED IN THE INSTALLATION.
3. ALL WATER MAINS 3 INCHES AND LARGER SHALL BE DUCTILE IRON PIPE CLASS 52 WITH THE RECORDS AND FITTINGS TO THE CITY OF ST. CHARLES.
4. ALL PIPE AND FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI/AWWA.
5. ALL DIP WATER MAIN AND FITTINGS TO BE DETAIL FOR 8-MIL POLYETHYLENE.
6. ALL FIRE HYDRANTS, VALVE TEES, AND BENDS MUST BE BRACED BY THE USER OF THRUST BLOCKING. PIPE JOINTS SHALL BE IN CONFORMANCE TO ANSI A21.11 AND FITTINGS IN CONFORMANCE TO ANSI A21.10, A21.51 AND AWWA C-151. WHERE NECESSARY MEGALUGS SHOULD BE USED TO RESTRAIN THE JOINTS IN LIFT OR IN ADDITION TO THRUST BLOCKING.
7. ALL WATER MAIN IS REQUIRED TO HAVE A MINIMUM DEPTH OF 5' MEASURED FROM PROPOSED FINISHED GRADE TO TOP OF PIPE.
8. ALL WATER MAIN MUST BE A MINIMUM OF 10' HORIZONTALLY FROM ANY SEWER LINES. IF THE NEW WATER MAIN IS PLACED WITHIN 10' OF AN EXISTING WATER SUPPLY, THE CONTRACTOR MUST FOLLOW ALL LOCAL REGULATIONS AND PRECAST ELEMENTS MUST BE SEALED WITH A BUTYL RUBBER JOINT SEALANT AND BE TUCKPOINTED WITH HYDRAULIC GEMENT. CONNECTING PIPES SHALL BE MORTARED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURE.
9. ALL WATER MAINS WILL BE STERILIZED AND BACTERIOLOGICAL TESTS PERFORMED, IN ACCORDANCE WITH AWWA STANDARD C600, C601, AND C602 SPECIFICATION FOR DISINFECTING WATER MAINS, AND WILL NOT BE PUT IN SERVICE UNTIL A SATISFACTORY REPORT IS IN EVIDENCE. WHEN DISINFECTING WATER MAINS, MINIMUM 100 GPM WATER FLOW. WATER SAMPLES SHALL BE TAKEN FROM TEMPORARY OR UNCOMPLETED CONNECTIONS.
10. WATER VALVE VAULTS MUST BE A TYPE A STRUCTURE AND CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION, ALL ADJUSTMENTS AND FRAMES SHALL BE SEALED TO PREVENT INFILTRATION. ALL WATER VALVE VAULT LIDS, WHICH SHALL BE THE SAME HEAVY WEIGHT TYPE AS SPECIFIED FOR STORM SEWER, AND VALVE BOX LIDS SHALL BE IMPRINTED WITH THE WORD "WATER".
11. FOR MAINS 6" AND LESS A 48" VAULT MAY BE USED. FOR MAINS LARGER THAN 6" A 60" VAULT MUST BE PROVIDED. THE VALVE VAULT SHALL BE SEALED WITH THE USE OF CONCRETE BLOCKS AND MORTAR. ALL PIPES ENTERING THE MANHOLE SHALL HAVE A 2" WIDE MORTARED COLLAR ON BOTH THE INSIDE AND OUTSIDE WALLS OF THE VAULT. VALVE VAULTS MAY BE SEALED WITH THE USE OF RUBBER BOOTS. A DISTANCE OF APPROXIMATELY 12" MUST BE PROVIDED BETWEEN THE FLOOR OF THE VAULT AND THE BOTTOM OF THE VALVE. THIS WILL ALLOW SPACE FOR A CONCRETE PEDESTAL WITH A MINIMUM HEIGHT OF 12". THE PEDESTAL SHALL EQUAL THE WIDTH OF THE PIPE. A 1/2" LAYER OF PREFORMED JOINT FILLER SHALL BE PLACED BETWEEN THE PEDESTAL AND THE OPERATING NUT OF EACH VALVE SHALL BE LOCATED DIRECTLY BELOW THE MANHOLE OR VALVE BOX LID.
13. VALVE BOX CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL STANDARDS FOUND IN THE "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF WATER AND SEWER MAIN IN ILLINOIS." VALVE BOXES SHALL BE SEALED AS TO NOT ALLOW THE ENTRANCE OF ANY LOOSE IMPEDIMENTS.
14. THE VALVE BOX SHALL BE PLACED VERTICAL WITH THE OPENING DIRECTLY ABOVE THE OPERATING NUT. ALL BOXES SHALL BE ADJUSTABLE WITH A MINIMUM OF 4" OF ADJUSTMENT REMAINING, AFTER THE BOX HAS BEEN BROUGHT TO MATCH EXISTING GRADE.
15. A MINIMUM OF 18" MUST BE PRESENT BETWEEN THE CENTER OF THE AUXILIARY VALVE AND THE FRONT OF THE HYDRANT TO ENSURE PROPER WRENCH CLEARANCE. ALL HYDRANTS WILL BE BRACED USING POURED IN PLACE CONCRETE BEHIND THE HYDRANT. THE SOLE USE OF ROOFS FOR BRACING THE HYDRANT WILL NOT BE PERMITTED. NO PART OF THE CONCRETE SHALL COME IN CONTACT WITH THE WEEP HOLE OF THE HYDRANT. A MINIMUM OF 1/2 C.Y. OF WASHED STONE SHALL BE PLACED AROUND THE HYDRANT AT THE WEEP HOLE. THIS STONE SHALL THEN BE COVERED WITH FILTER FABRIC TO PREVENT SEDIMENT FROM CLOGGING THE WEEP HOLE.
16. FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 200, WATEROUS PAGER MODEL WB-67-250 OR CLOW MEDALLION, OR APPROVED EQUAL CONFORMING TO THE LATEST AWWA SPECIFICATION, TESTED TO 300 PSI. HYDRANTS SHALL HAVE A MINIMUM FIVE AND ONE-QUARTER INCH VALVE OPENING AND BE PROVIDED WITH A FOUR AND ONE-HALF INCH PUMPER CONNECTION AND TWO, TWO AND ONE-HALF INCH HOSE CONNECTIONS WITH NATIONAL STANDARD THREAD.
17. BRASS WEDGES SHALL BE INSTALLED TO PROVIDE ELECTRICAL CONDUCTIVITY.

REQUIRED WATER TESTING

ALL WATER MAIN AND SEWER PIPE FITTINGS, VALVE AND HYDRANTS SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE OF 150 PSI AFTER INSTALLATION. EACH SECTION OF WATER MAIN AND CONNECTIONS TO BE PRESSURE TESTED SHALL BE CAREFULLY FILLED WITH WATER TO EXHIBIT PROPER CONVEYANCE. THE TEST PRESSURE SHALL BE APPLIED BY USE OF A PUMP CONNECTED TO A TAP IN THE PIPE. THE TEST PRESSURE SHALL BE MAINTAINED WITHOUT LOSS OR FURTHER PRESSURE APPLICATION FOR A DURATION OF TWO HOURS. IN THE EVENT OF A PRESSURE LOSS, THE CONTRACTOR SHALL LOCATE AND CORRECT ALL LEAKS AND THEN REPEAT THE HYDROSTATIC PRESSURE TEST UNTIL SATISFACTORY TO THE CITY OF ST. CHARLES ENGINEER. THE DISTRICT MUST BE CONTACTED AT LEAST 24 HOURS PRIOR TO PRESSURE TESTING THE WATER MAIN.

DISINFECTION

AFTER THE WATER MAIN WORK HAS BEEN SATISFACTORILY COMPLETED, INCLUDING PRESSURE AND LEAKAGE TESTS, THE CONTRACTOR SHALL PURCHASE EQUIPMENT AND CHEMICALS NECESSARY TO PROPERLY DISINFECT THE WORK IN ACCORDANCE WITH THE LATEST REVISION OF AWWA STANDARD C601. CHLORINE WHICH MAY BE USED IN THE DISINFECTING SOLUTION IS CHLORINE GAS ONLY. DISINFECTING SOLUTIONS SHALL BE APPLIED BY CONTINUOUS FEED METHOD UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER, AND SHALL CONTAIN A MINIMUM OF 50 MILLIGRAMS PER LITER (mg/L) OF AVAILABLE CHLORINE. THE DISINFECTING SOLUTION SHALL BE RETAINED IN THE MAIN FOR A PERIOD OF NOT LESS THAN 24 HOURS AFTER EACH SECTION OF WATER MAIN IS COMPLETED. LESS THAN 25 mg/L CHLORINE THROUGHOUT THE NEW WORK, AFTER THE 24 HOUR RETENTION PERIOD, THE DISINFECTING SOLUTION SHALL BE FLUSHED FROM THE MAIN UNTIL THE CHLORINE CONCENTRATION IN THE WATER FLOWING FROM THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE OWNER'S SYSTEM, OR LESS THAN 1mg/L.

STORM SEWER

1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, ADOPTED APRIL 1, 2016, AND REVISIONS THEREOF, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE ORDINANCES OF THE CITY OF ST. CHARLES.
2. ALL STORM SEWER SHALL BE CLASS II REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-361, HDPE CONFORMING TO ASHOTO M-294, PVC SDR-26 OR DUCTILE IRON PIPE CLASS 52 AS CALLED OUT ON THE PLANS. THE TRENCH SHALL BE BACKFILLED WITH COMPACTED CA-7, RUBBER GASKETS SHALL BE USED.
3. ALL MANHOLES AND INLET STRUCTURES SHALL BE PRECAST REINFORCED CONCRETE MANUFACTURED TO A.S.T.M. DESIGNATION C-478.
4. FRAME AND GRATES:
CURB INLET TYPE: HIGH BACK: NENAH R-3281-A OR R-3278-1
DEPRESSED: NENAH R-3506-42
C.B. BEHIND THE CURB TYPE: NENAH R-3305
NENAH R-1713 (REFER TO LID DETAIL)
C.B./M.H TYPE "D": NENAH R-1713 (REFER TO LID DETAIL)
NENAH R-1713
C.B. BEEHIVE TYPE: NENAH R-4340-B
NENAH R-1713
5. AFTER THE STRUCTURE HAS PROPERLY SET AND PIPE HAS BEEN CONNECTED, ALL REMAINING OPENINGS TO THE STRUCTURE SHALL BE MORTARED. THIS INCLUDES BUT IS NOT LIMITED TO LIFT HOLES AND VOIDS AND OPENINGS TO PRECAST ELEMENTS MUST BE SEALED WITH A BUTYL RUBBER JOINT SEALANT AND BE TUCKPOINTED WITH HYDRAULIC GEMENT. CONNECTING PIPES SHALL BE MORTARED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURE.
6. ALL STRUCTURES SHALL HAVE THE ADJUSTMENT RINGS AND FRAME SEALED WITH A RUBBER GASKET. ADJUSTMENT RINGS SHALL BE RUBBER, EIJW INFRASIRER OR APPROVED EQUAL.
7. ALL STRUCTURES SHALL HAVE THE FRAME AND LID OR GRATE PARALLEL TO THE ADJACENT GRADE LINE. CASTINGS SHALL NOT BE SET ON SLOPES IN LEVEL AREAS AND VICE VERSA. IF A CASTING IS TO BE PLACED ON A SLOPE (IE, STEEP DRAIN APPROACH) IT SHALL BE PROPERLY SLOPED WITH THE USE OF CONCRETE MORTAR AND BRICKS. BITUMINOUS MASTIC IS PERMITTED WHEN COMBINED WITH THE USE OF CONCRETE OR MORTAR.

SANITARY SEWER CONSTRUCTION

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION, AND REVISIONS THEREOF, THE NOTES AND ON THE PLANS, AND IN ACCORDANCE WITH CODES AND ORDINANCES OF THE CITY OF ST. CHARLES.
2. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY UNPOLLUTED WATER SUCH AS GROUND AND SURFACE WATER FROM ENTERING THE EXISTING SANITARY SEWERS.
3. THE CONTRACTOR SHALL BE PROHIBITED FROM DISCHARGING ANY UNPOLLUTED WATER IN TO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OR FLOATING LINES FOR THE DEFLECTION TEST WITHOUT PRIOR APPROVAL.
4. ALL SANITARY SEWERS 15" AND LESS IN DIAMETER SHALL BE PVC COMPOSITE SEWER PIPE. IN ACCORDANCE WITH A.S.T.M. D-2689, WITH PVC COMPOSITE SEWER PIPE HAVING ELASTOMERIC SEALS. PER A.S.T.M. D-3112, OR EQUAL OR PVC SEWER PIPE IN ACCORDANCE WITH A.S.T.M. D-3034 WITH ELASTOMERIC SEALS PER D-3212. SANITARY SEWERS SHALL BE 6" MINIMUM SIZE. 6" SERVICE SHALL BE PVC SDR 26 PIPE, IN CONFORMANCE WITH A.S.T.M. D-3034. PVC SHALL HAVE FLEXIBLE ELASTOMERIC SEALS PER A.S.T.M. D-2912. WATER-MAN-QUALITY SANITARY SEWERS TO COMPLY WITH ASTM D2241.
5. ALL MANHOLES SHALL BE PRECAST, REINFORCED CONCRETE SECTIONS, 48" INSIDE DIAMETER MINIMUM, WITH PRECAST, REINFORCED CONCRETE OFF-SET CONES, MANUFACTURED TO A.S.T.M. C-478. ALL SANITARY MANHOLES SHALL HAVE CRETEX OR APPROVED EQUAL, INTERNAL GRADE ADJUSTMENT SKIRTS. ADJUSTMENTS TO FINISHED GRADE SHALL BE ACCOMPLISHED USING EIJW INFRA-SIRER OR APPROVED EQUAL, RUBBERIZED GRADE ADJUSTMENT RINGS.
6. ALL ADJUSTMENT RINGS AND FRAMES SHALL BE SEALED. THE INSIDE OF THE STRUCTURE SHALL BE SEALED WITH CONCRETE MORTAR. THE OUTSIDE OF THE MANHOLE SHALL BE SEALED WITH AN INFASHIELD RUBBER GASKET. THIS GASKET SHALL ENCOMPASS ALL ADJUSTMENT RINGS, AND FORM A WATERPROOF SEAL BETWEEN THE STRUCTURE AND FRAME.
7. ALL STRUCTURES SHALL BE A TYPE A MANHOLE WITH A Poured BENCH AND TROUGH. THE BENCH AND TROUGH OF THE STRUCTURE SHALL BE Poured CONCRETE, WITH A SMOOTH FINISH. THE BENCH SHALL BE A MINIMUM HEIGHT OF ONE-HALF OF THE DIAMETER OF THE CONNECTING PIPE AND EXTEND TO THE INSIDE WALLS OF THE MANHOLES. ANY CHANGE IN DIRECTION SHOULD BE MADE WITH THE USE OF ROUND BURNS. SHARP ANGLES WILL NOT BE PERMITTED IN THE REDIRECTION OF SEWER FLOW.
8. SANITARY MANHOLE LIDS SHALL BE NENAH HEAVY WEIGHT TYPE R713 OR APPROVED EQUAL WITH "CITY OF ST CHARLES - SANITARY" CAST INTO SURFACE. ALL SANITARY LIDS ARE REQUIRED TO BE SELF SEALING WITH A CONCEALED PICK HOLE.
9. SANITARY SEWER MANHOLES WITH INTERNAL DROPS TWO FEET OR LESS SHALL HAVE A PRECAST CONCRETE TROUGH BUILT IN THE STRUCTURE TO OBTAIN A GRADE FLOW TRANSITION FROM THE UPSTREAM PIPE INVERT TO THE DOWNSTREAM PIPE INVERT.

10. BAND SEAL, OR SIMILAR COUPLINGS SHALL BE USED IN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS
11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
A. CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOL "SEWER TAP"
B. MACHINE (OR SIMILAR) AND PROPER INSTALLATION OF HUB-WAY SADDLE OR HUB-BE SADDLE
B. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE LID) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
C. WITH A PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
12. WHERE A SEWER MAIN LATERAL OR BUILDING SERVICE SEWER CROSSES A PRETERREN, A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE PROVIDED. A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE PROVIDED BETWEEN THE TOP OF THE SEWER PIPE AND THE BOTTOM OF THE WATER PIPE. WHERE THE 18" VERTICAL SEPARATION IS NOT PROVIDED, THE SEWER SHALL BE CONSTRUCTED OF WATER MAIN QUALITY PIPE. ADDITIONALLY, THE SANITARY SEWER SHALL BE SUPPORTED AS INDICATED IN THE "STANDARD SPECIFICATIONS".

REQUIRED SANITARY SEWER TESTING

1. THE ENGINEER SHALL DETERMINE DURING CONSTRUCTION WHETHER INFILTRATION OR EXFILTRATION TESTING SHALL BE REQUIRED. MAXIMUM ALLOWABLE INFILTRATION SHALL BE 100 GALLONS PER MILE PER INCH DIAMETER OF PIPE. THE USE OF A STANDARD WEIR OR A PLUG WITH SPIGOT TO MEASURE FLOWS SHALL BE DETERMINED BY THE ENGINEER PRIOR TO THE TEST.
 2. THE SANITARY SEWER SHALL BE TELEVIEWED BY THE CONTRACTOR AND A VIDEO TAPE RECORD SHALL BE MADE AND TURNED OVER TO THE CITY OF ST. CHARLES.
 3. ALL SANITARY SEWERS WILL BE AIR TESTED BY THE CONTRACTOR UNDER THE SUPERVISION OF THE CITY OF ST CHARLES ENGINEER. ALL TESTING WILL BE DONE IN CONFORMANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," LATEST EDITION.
 4. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH ASTM C-1244-02 STANDARDS AND LEAKAGE TESTED IN ACCORDANCE WITH ASTM C-1969-94 & ASTM C-1244-93 STANDARDS.
- ALL PIPELINE SHALL BE TESTED FOR EXCESS DEFLECTION BY PULLING A "GO-NO GO" MANROD THROUGH THE PIPE FROM MANHOLE TO MANHOLE. THE MANROD SHALL BE SIZED IN ACCORDANCE WITH THE TESTING LIMITS GIVEN BELOW, AND AS SPECIFIED IN THE SPECIAL PROVISIONS. A "DEFLECTOMETER" MAY ALSO BE USED TO CHECK AND RECORD DEFLECTION, WHEREVER POSSIBLE AND PRACTICAL. THE TESTING SHALL INITIATE AT THE DOWNSTREAM LINES AND PROCEED TOWARDS THE UPSTREAM LINES.
- WHERE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING LIMITS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL THEN BE RE-TESTED FOR DEFLECTION. WORK SHOULD AFTER THE INITIAL TESTING THE DEFLECTED PIPE LINE TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER). THE LINE SHALL BE REPLACED.
- SAMPLING SHALL BE PERFORMED ON ALL SEWER PIPELINE BY THE ENGINEER.

DEFLECTION LIMITS FOR FLEXIBLE THERMOPLASTIC PIPES:
DEFLECTION OF POLYVINYL CHLORIDE (PVC) PIPE SHALL NOT EXCEED 5.0% OF THE "BASE L.D." (INTERNAL DIAMETER) OF THE PIPE. "BASE L.D." SHALL BE CALCULATED IN ACCORDANCE WITH THE FOLLOWING:
AVE ID = AVG OD - (2.1(067)
TOLERANCE PACKAGE = (A2+62+B2+C2)/2
WHERE:
A = OD TOLERANCE (ASTM D3034)
B = EXCESS WALL THICKNESS TOLERANCE = 0.06GT
C = OUT OF ROUNDNESS TOLERANCE = 0.015 (AVEAGE OD)
T = MINIMUM WALL THICKNESS (ASTM D3034)

BASE ID = AVG. ID - THICKNESS PACKAGE

UTILITY CONTACTS

- ELECTRICAL SERVICE
AGENCY: ST. CHARLES MUNICIPAL ELECTRICAL UTILITY
ADDRESS: TWO EAST MAIN STREET, ST. CHARLES, IL 60174
PHONE: 630.377.4403
- GAS SERVICE
AGENCY: NICOR GAS
ADDRESS: 90 N. FINLEY ROAD, GLEN ELLYN, IL 60137
PHONE: 630.629.2500 EX. 333
- TELEPHONE SERVICE
AGENCY: AMERITECH
ADDRESS: 40 S. MITCHELL COURT, ADDISON, IL 60101
PHONE: 630.620.3878
- SANITARY SEWER SERVICE
AGENCY: CITY OF ST. CHARLES
ADDRESS: TWO EAST MAIN STREET, ST. CHARLES, IL 60174
PHONE: 630.377.4405
- STORM SEWER SERVICE
AGENCY: CITY OF ST. CHARLES
ADDRESS: TWO EAST MAIN STREET, ST. CHARLES, IL 60174
PHONE: 630.377.4486
- WATER SERVICE
AGENCY: CITY OF ST. CHARLES
ADDRESS: TWO EAST MAIN STREET, ST. CHARLES, IL 60174
PHONE: 630.377.4405

REVISION	No.	DATE	DESCRIPTION
	1	03/08/19	ISSUED FOR PERMIT REVIEW
	2	11/09/19	ISSUED FOR PLD SUBMITAL

PROJECT No: 07762-1
DATE 12/29/18
DES: TH
DR: DH
CKD: JS

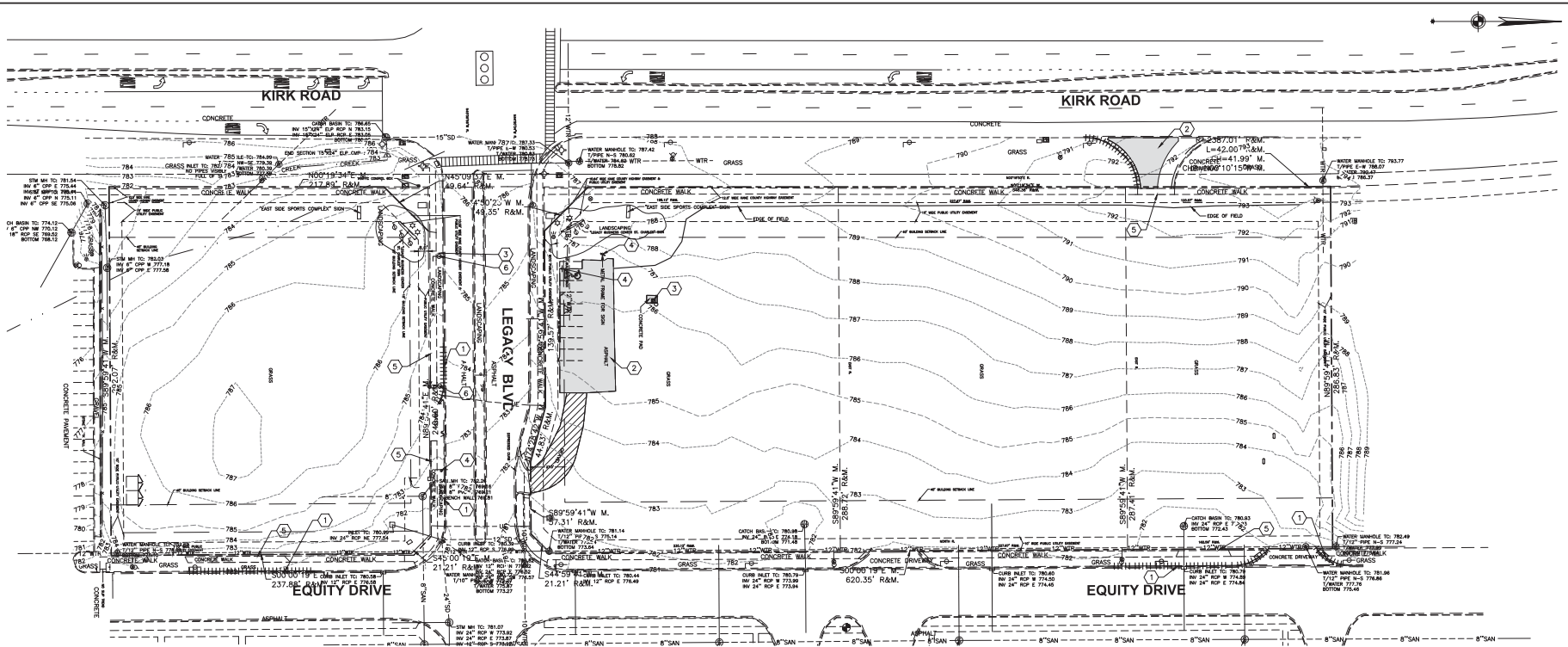
1816 South Meyers Road
Suite 960
Oakbrook Terrace, IL 60181
800.424.9380
FAX: 630.953.3731

WOLBERT

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
MIRK ROAD AND LEGACY BOULEVARD
ST. CHARLES, ILLINOIS

GENERAL NOTES

SHEET NO. **C001**



EXISTING LEGEND

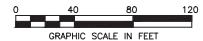
- ⊙ STORM MANHOLE
- CURB INLET
- CATCH BASIN
- △ FIRE HYD.
- ⊙ WATER VALVE
- ⊙ WATER MANHOLE
- ⊙ SPRINKLER CONTROL VALVE
- ⊙ GAS METER
- ⊙ ELEC. TRANSFORMER
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CLEANOUT
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- GUY WIRE
- ⊙ TELEPHONE PEDESTAL
- ⊙ TRAFFIC SIGNAL PULL BOX
- ⊙ SANITARY MANHOLE
- SIGN
- UE - UNDERGROUND ELECTRIC
- G - UNDERGROUND GAS
- SD - STORM
- SAN - SANITARY
- WTR - WATER
- EXISTING CURB (AND GUTTER)
- TC TOP OF CASTING

DEMOLITION LEGEND

- 1 SAWCUT AND REMOVE EXISTING CURB AND GUTTER
- 2 SAWCUT AND REMOVE EXISTING ASPHALT/CONCRETE PAVEMENT FULL DEPTH
- 3 REMOVE EXISTING TRANSFORMER AND
- 4 REMOVE EXISTING SIGN
- 5 REMOVE EXISTING SIDEWALK
- 6 REMOVE EXISTING LIGHT POLE

DEMOLITION NOTES

1. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
2. CALL JULLIE (1-800-892-0123) FOR EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF UTILITIES ON SITE OR CROSSING THE SITE TO SERVICE ADJACENT PROPERTIES. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY OWNER OR OTHERS, DURING OCCUPIED HOURS, EXCEPT WHEN PERMITTED BY OTHERS.
4. DEMOLISH AND COMPLETELY REMOVE FROM SITE, EXISTING UNDERGROUND UTILITIES INDICATED TO BE REMOVED. COORDINATE WITH UTILITY COMPANIES FOR SHUT-OFF OF SERVICES, IF LINES ARE ACTIVE.
5. EXISTING PAVEMENT AND CONCRETE PAVEMENTS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
6. MATERIAL CREATED AS A RESULT OF BUILDING DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRACKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS. THE CONTRACTOR MUST USE WATER OR OTHER METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
8. PAVEMENT DAMAGED DUE TO THE REMOVAL OF EXISTING CURB SHALL BE SAWCUT, REMOVED AND REPLACED IN KIND.
9. A FULL DEPTH SAWCUT SHALL BE PROVIDED IN ALL AREAS WHERE PROPOSED PAVEMENT OR CURB AND GUTTER MEETS EXISTING PAVEMENT.
10. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF BENCHMARKS PRIOR TO THE START OF CONSTRUCTION.



REVISION	No.	DATE
	1	11/09/17
	2	03/08/19

PROJECT No: 077621
 DATE 12/28/18
 DES. BY: JH
 DR. BY: JH
 CKD. BY: JS

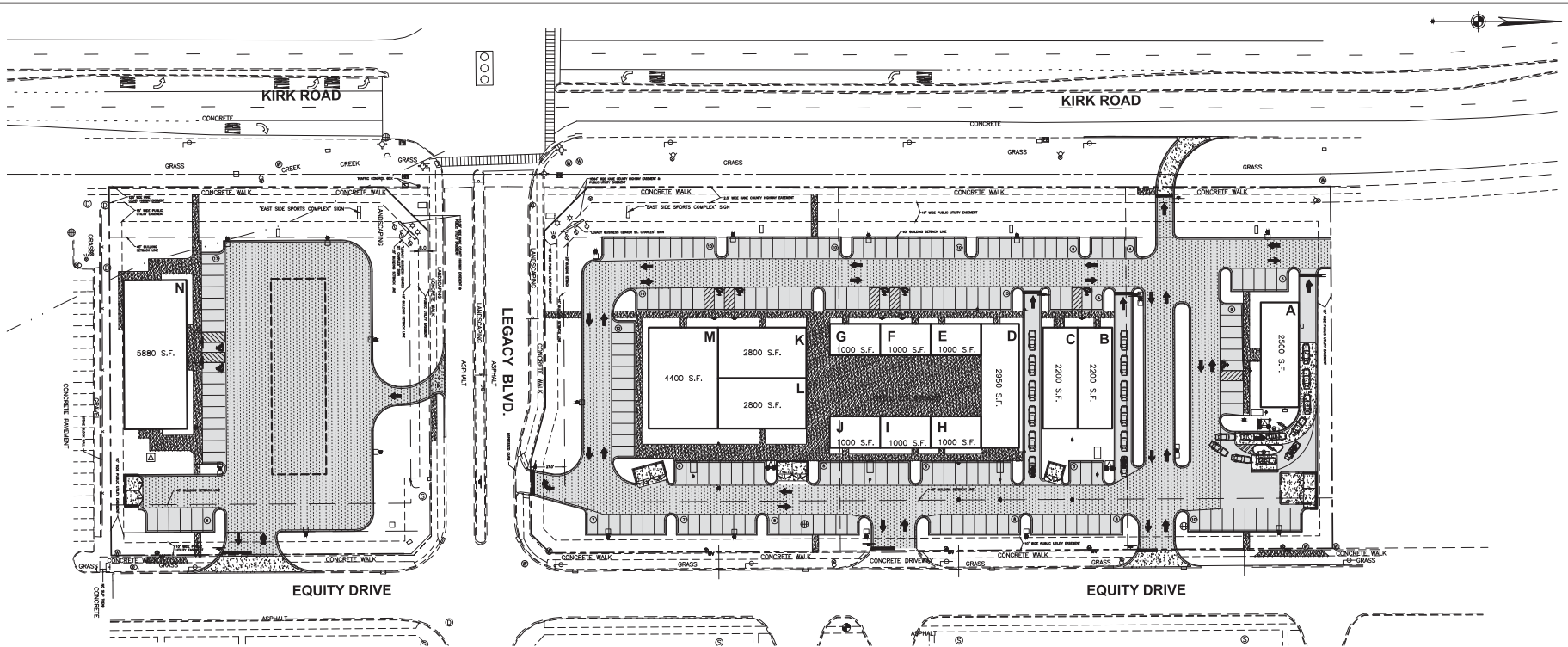
1816 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
WOODBERT
 CONSULTANTS
 630.424.9080
 ST. CHARLES, ILLINOIS
 FAX: 630.495.3731

**SITE IMPROVEMENT PLANS
 EAST SIDE RETAIL CENTER**
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

EXIST. CONDITIONS - DEMOLITION PLAN

SHEET NO. **C100**

Layout Tab Name: C200 OVERALL SITE PLAN, Imagedate: 5/14/2019 2:25:49 PM
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GAS STATION						
BUILDING	TYPE	PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED*	ADA SPACES REQUIRED	ADA SPACES PROVIDED
K	GAS STATION	4/1000	24	23	1	2

* REQUIRED PARKING MAY BE REDUCED BY THE NUMBER OF ACCESSIBLE FUEL PUMPS. NUMBER OF FUEL PUMPS TO BE DETERMINED WHEN USER IS IDENTIFIED.

SITE DATA		
PROPOSED SITE AREA	1.68±	ACRES
PROPOSED R.O.W. DEDICATION	0.06±	ACRES
REMAINING SITE AREA	1.62±	ACRES
ZONING	M2-LIMITED MANUFACTURING (PUD #71)	

MULTI-TENANT SHOPPING CENTER						
BUILDING	TYPE	PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED	ADA SPACES REQUIRED	ADA SPACES PROVIDED
A	RESTAURANT	10/1000	25		1	2
B	RESTAURANT	10/1000	22		1	1
C	RETAIL	4/1000	9		1	1
D	RESTAURANT	10/1000	22		1	1
E	RETAIL	4/1000	8		1	1
F	RETAIL	4/1000	8		1	1
G	RESTAURANT	10/1000	20		1	1
H	RETAIL	4/1000	12		1	1
I	RETAIL	4/1000	12		1	1
J	RESTAURANT	10/1000	44		2	2
TOTAL:			182	177	11	12

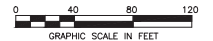
SITE DATA		
PROPOSED SITE AREA	4.13±	ACRES
ZONING	M2-LIMITED MANUFACTURING (PUD #71)	

SITE NOTES

- ALL DIMENSIONS, RADII AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. ALL RADII SHALL BE 4' UNLESS INDICATED OTHERWISE.
- ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
- ALL CURB & GUTTER SHALL BE #6.12, "POSITIVE", UNLESS NOTED OTHERWISE (SEE DETAILS).
- ADA DETECTABLE WARNINGS/TRUNCATED DOMES TO BE PROVIDED AT SIDEWALKS ON EITHER SIDE OF EACH DRIVEWAY CROSSING.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- WHERE NEW PAVEMENT IS TO BE PLACED OVER CURBED ISLANDS THAT HAVE BEEN REMOVED, CONTRACTOR TO PROVIDE AGGREGATE BASE & BINDER COURSE MATCHING THE EXISTING PAVEMENT SECTIONS PRIOR TO PLACEMENT OF SURFACE COURSE.
- CONTRACTOR TO PERFORM PAVEMENT RESTORATION FOR ALL BUILDING FOOTINGS AND UTILITY INSTALLATIONS. CONTRACTOR TO PROVIDE 8" AGGREGATE BASE, 3" BINDER COURSE, AND 1.5" SURFACE COURSE OR MATCH THE EXISTING PAVEMENT SECTION, WHICHEVER IS GREATER.
- AREAS OF PAVEMENT RESTORATION SHALL BE PROOF ROLLED TO DETERMINE IF FULL DEPTH RESTORATION IS REQUIRED OR IF ONLY THE BITUMINOUS MATERIAL IS TO BE REPLACED.
- SEE SHEETS C201-C202 FOR ADDITIONAL DIMENSIONS.

SITE LEGEND

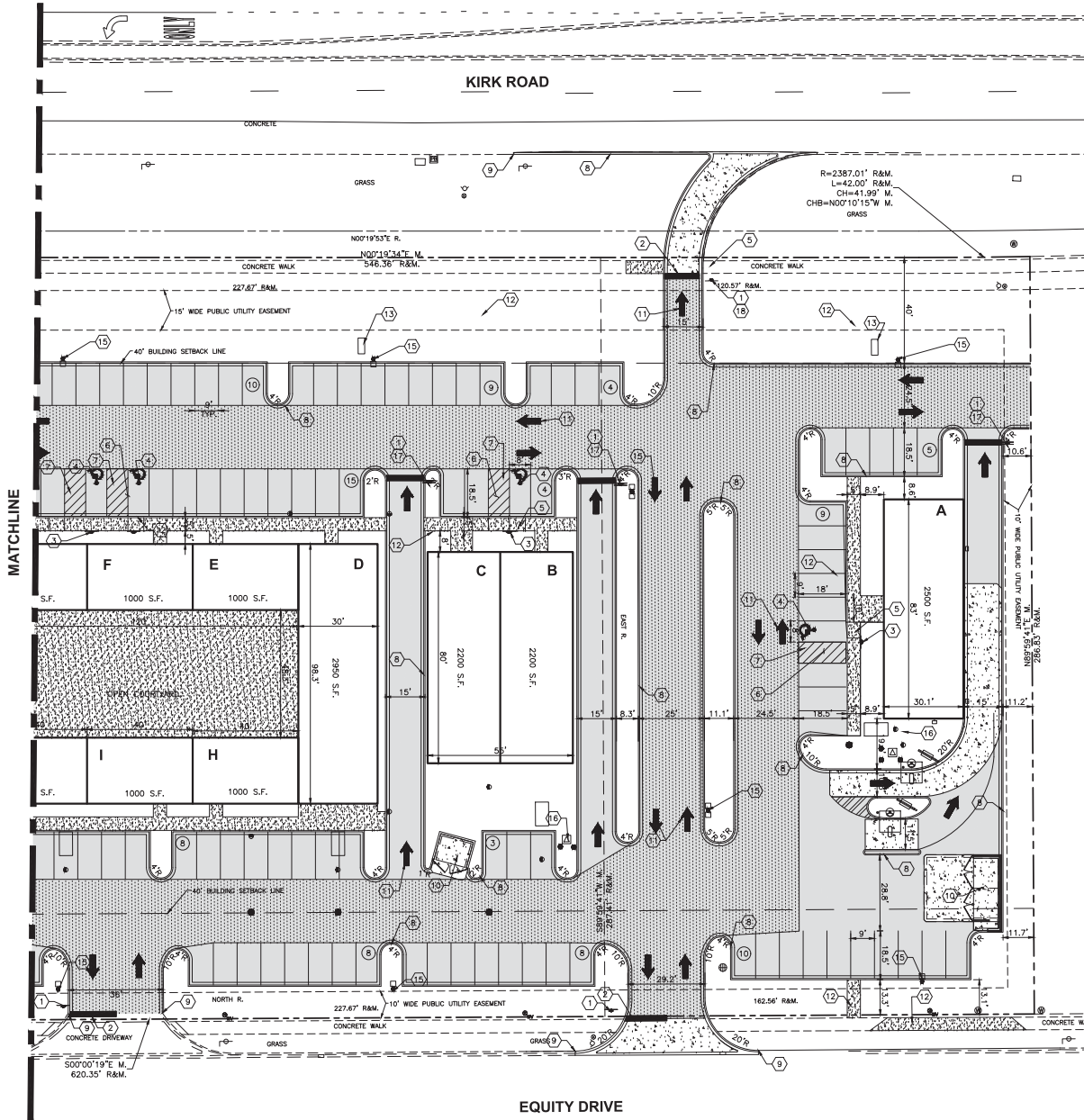
- INDICATES LIGHT DUTY ASPHALT PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY ASPHALT PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY ASPHALT PAVEMENT--SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE SIDEWALK
- LIGHT POLES
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY



WOLPERT	
1816 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 DR. JG 630.424.9880 FAX: 630.495.3721	
SITE IMPROVEMENT PLANS	OVERALL SITE PLAN
EAST SIDE RETAIL CENTER	
KIRK ROAD AND LEGACY BOULEVARD ST. CHARLES, ILLINOIS	
SHEET NO. C200	

PROJECT No:	DATE	REVISION
077821		
DATE 12/28/18		
DES. JG		
DR. JG		
CKD. JG		
3 03/27/19		PEF. PUD COMMENTS
2 03/08/19		ISSUED FOR PERMIT REVIEW
1 11/09/17		ISSUED FOR PUD SUBMITTAL

Layout Tab Name: C202 NORTH SITE PLAN, Imgs: .xref, 077621-TBK.dwg, 077621-F.dwg, 077621-X.dwg, 077621-X.dwg, 077621-X.dwg, 077621-X.dwg
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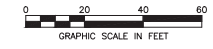


SITE LEGEND

- INDICATES LIGHT DUTY ASPHALT PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY ASPHALT PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY ASPHALT PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE SIDEWALK
- LIGHT POLES
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY

- ### SITE NOTES
1. ALL DIMENSIONS, RADII AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE.
 2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
 3. ALL CURB & GUTTER SHALL BE B6.12, "POSITIVE", UNLESS NOTED OTHERWISE (SEE DETAILS).
 4. ADA DETECTABLE WARNINGS/TRUNCATED DOMES TO BE PROVIDED AT SIDEWALKS ON EITHER SIDE OF EACH DRIVEWAY CROSSING.
 5. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 6. WHERE NEW PAVEMENT IS TO BE PLACED OVER CURBED ISLANDS THAT HAVE BEEN REMOVED, CONTRACTOR TO PROVIDE AGGREGATE BASE & BINDER COURSE MATCHING THE EXISTING PAVEMENT SECTIONS PRIOR TO PLACEMENT OF SURFACE COURSE.

- ### SITE KEY NOTES
- | NO. | DESCRIPTION |
|-----|--|
| 1 | "STOP" SIGN, R1-1 |
| 2 | 24" WIDE STOP BAR, TRAFFIC WHITE PAINT |
| 3 | ACCESSIBLE PARKING SIGN |
| 4 | ACCESSIBLE PARKING SYMBOL |
| 5 | ACCESSIBLE RAMP WITH DETECTABLE WARNING |
| 6 | ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS |
| 7 | PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC YELLOW PAINT |
| 8 | CURB AND GUTTER |
| 9 | BEGIN/END PROPOSED CURB AND GUTTER, SAW CUT EXISTING CURB TO PROVIDE CLEAN CONSTRUCTION JOINT. |
| 10 | DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS) |
| 11 | DIRECTIONAL ARROW, TRAFFIC WHITE PAINT |
| 12 | CONCRETE SIDEWALK |
| 13 | MONUMENT SIGN (SEE ARCHITECTURAL PLANS) |
| 14 | CANOPY |
| 15 | LIGHTPOLE |
| 16 | PROPOSED TRANSFORMER PAD |
| 17 | "DO NOT ENTER" SIGN |
| 18 | "RIGHT TURN ONLY" SIGN |

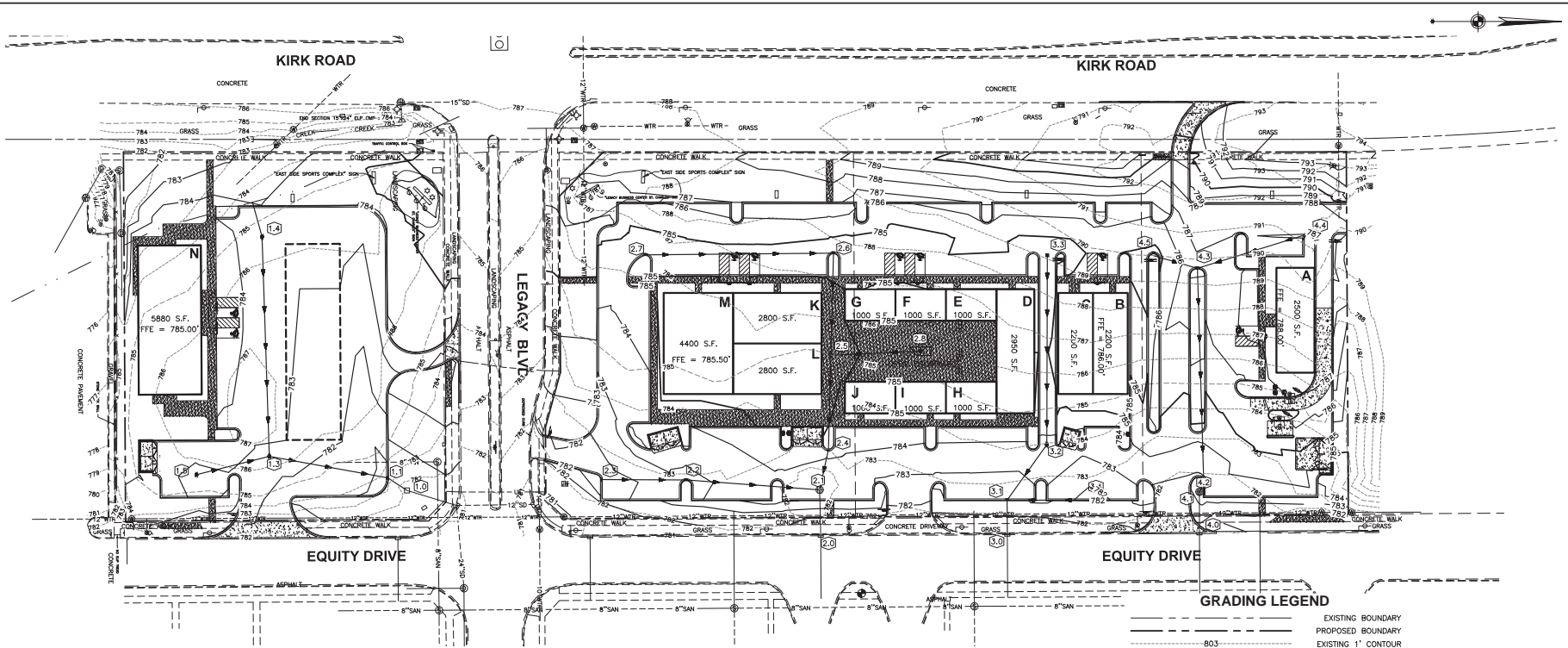


SITE IMPROVEMENT PLANS EAST SIDE RETAIL CENTER KIRK ROAD AND LEGACY BOULEVARD ST. CHARLES, ILLINOIS		NORTH SITE PLAN
PROJECT No: 077621 DATE: 12/28/18 DES.: TH DR.: DH CKD.: JS	REVISION No. DATE 1 11/09/17 ISSUED FOR PUD SUBMITTAL 2 03/06/19 ISSUED FOR PERMIT REVIEW 3 03/27/19 PER PUD COMMENTS	SHEET NO. C202

1816 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 630.424.9880
 FAX: 630.495.3731

WOOLBERT
 ARCHITECTURAL

Layout Tab Name: C300 OVERALL GRADING PLAN, Image: .\Xrefs: 077621-TBL.dwg; 077621-P.dwg; 077621-X.dwg; 077621-X-DIGITIZED.dwg
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STORM STRUCTURE TABLE			
STRUCTURE ID	DESCRIPTION	RIM/GRATE	INVERT
1.0	EXISTING STORM STRUCTURE	781.28	12" = 777.68 (SW) 24" = 777.54 (N)
1.1	CURB INLET	780.67	12" = 777.86 (S) 12" = 777.86 (NE)
1.3	STORM MH 48" DIA	782.56	12" = 778.81 (W) 12" = 778.81 (N) 12" = 778.81 (S)
1.4	STORM MH 48" DIA	783.64	12" = 780.13 (E) 12" = 780.13 (W)
1.5	STORM MH 48" DIA	782.68	12" = 779.40 (N)
2.0	EXISTING CURB INLET*	777.91	24" = 773.99 (W) 12" = 773.94 (E)
2.1	EXISTING CATCH BASIN	783.22	24" = 776.21 (S) 24" = 774.18 (E) 24" = 778.17 (W)
2.2	CURB INLET	782.64	24" = 776.63 (S) 24" = 776.63 (N)
2.3	CURB INLET	781.38	24" = 776.90 (N)
2.4	CURB INLET	784.19	12" = 778.71 (W) 24" = 778.50 (E)
2.5	STORM MH 48" DIA	785.26	12" = 779.08 (W) 12" = 779.08 (S) 12" = 779.90 (N)
2.6	SHALLOW CURB INLET	784.20	12" = 779.41 (E) 12" = 779.41 (S)
2.7	SHALLOW CURB INLET	784.08	12" = 780.00 (N)
2.8	CATCH BASIN	783.84	12" = 780.19 (S)
3.0	CURB INLET	778.42	24" = 774.50 (W) 24" = 774.45 (E)

STORM STRUCTURE TABLE			
STRUCTURE ID	DESCRIPTION	RIM/GRATE	INVERT
3.1	CURB INLET	782.00	12" = 777.94 (NW) 12" = 776.83 (N) 24" = 774.74 (E)
3.2	STORM MH 48" DIA	783.71	12" = 778.50 (W) 12" = 778.50 (SE)
3.3	CATCH BASIN	784.03	12" = 780.00 (E)
3.4	CURB INLET	781.57	12" = 777.50 (S)
4.0	EXISTING CURB INLET	780.79	24" = 774.89 (W) 24" = 774.84 (E)
4.1	EXISTING CATCH BASIN	783.29	12" = 778.49 (NW) 24" = 774.93 (E)
4.2	CURB INLET	782.92	12" = 778.67 (W) 12" = 778.57 (SE)
4.3	CURB INLET	786.63	12" = 780.36 (E) 12" = 782.13 (N) 12" = 780.36 (S)
4.4	CURB INLET	786.92	12" = 782.50 (S)
4.5	CURB INLET	784.73	12" = 780.50 (N)

GRADING LEGEND

- EXISTING BOUNDARY
- - - PROPOSED BOUNDARY
- 803 --- EXISTING 1' CONTOUR
- 810 --- EXISTING 5' CONTOUR
- 803 --- PROPOSED 1' CONTOUR
- 810 --- PROPOSED 5' CONTOUR
- PROPOSED STORM DRAIN

DIRECTION OF FLOW

- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED CLEANOUT
- BENCHMARK
- PROPOSED CURB AND GUTTER
- ⊕ PROPOSED STORM STRUCTURE CALLOUT

PROPOSED ELEVATIONS LEGEND

- ✕ 800.00 ELEVATION AT TOP OF CURB
- ✕ 800.00 ELEVATION AT FLOW LINE
- ✕ 800.00 ELEVATION AT TOP OF PAVEMENT
- ✕ 800.00 ELEVATION AT GRADE
- ✕ 800.00 ELEVATION AT TOP OF SLAB
- ✕ 800.00 ELEVATION AT TOP OF WALK
- ✕ 800.00 TOP OF CASTING (RIM OR FLOW LINE) ELEVATION
- ✕ 800.00 ELEVATION TO MATCH EXISTING GRADE

EXISTING ELEVATIONS LEGEND

- ✕ 800.00 TC TOP OF CASTING (RIM OR FLOW LINE) ELEVATION
- ✕ 800.00 SPOT ELEVATION

REVISION	
No.	DATE
1	11/09/17 ISSUED FOR PUD SUBMITTAL
2	03/08/19 ISSUED FOR PERMIT REVIEW
3	03/27/19 PER PUD COMMENTS #2
4	05/15/19 PER PUD COMMENTS #2

PROJECT No: 077621
 DATE 12/28/18
 DES. BY DR. JH
 CKD. JG

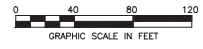
1816 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 800.424.9880
 FAX: 630.495.3731



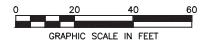
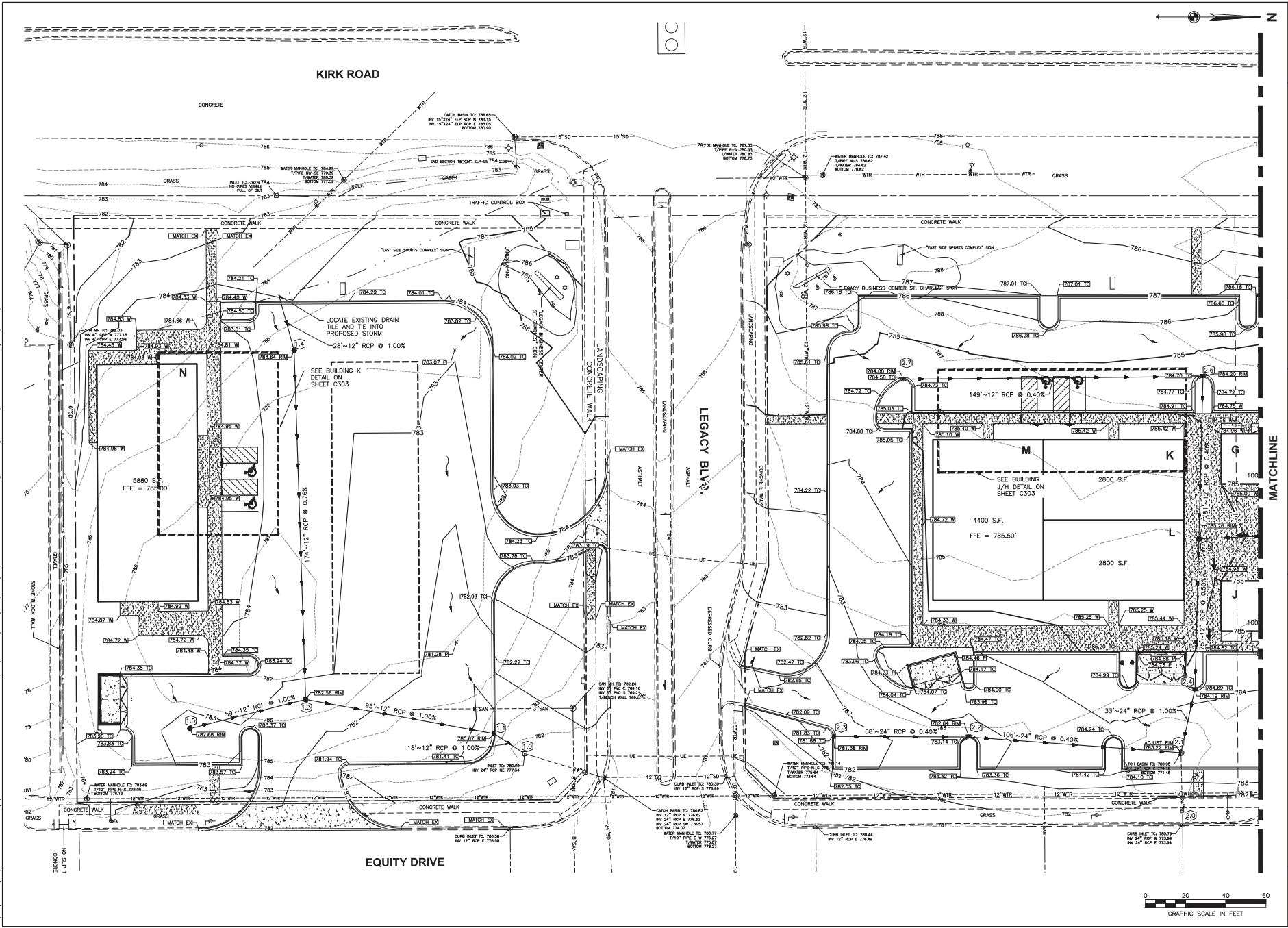
SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

OVERALL GRADING PLAN

SHEET NO. **C300**



Layout Tab Name: C301 SOUTH GRADING PLAN, Images: Xrefs: 077621-TBLK.dwg; 077621-F.dwg; 077621-X.dwg; 077621-X-DIGITIZED.dwg
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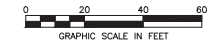
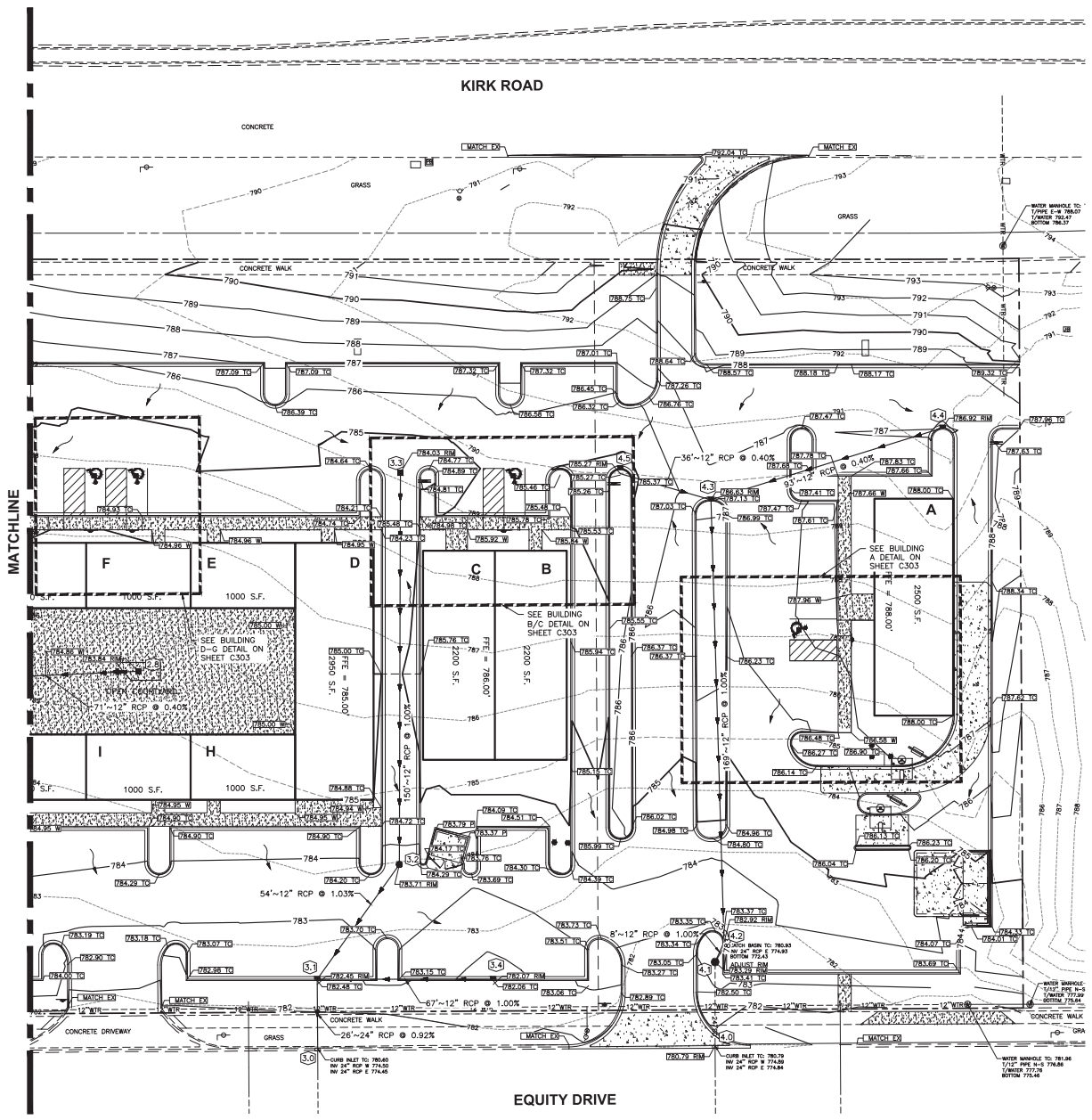
PROJECT NO.:		REVISION	
077621		No.	DATE
DATE 12/28/18		1	
DES. BY 4/05/15/19		2	
DR. BY 3/03/27/19		3	
CKD. BY 11/09/17		4	
ISSUED FOR PERMIT REVIEW		5	
ISSUED FOR PUD SUBMITTAL		6	

1816 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 WOODBERT 800.424.9880 FAX: 630.953.3721	
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SITE IMPROVEMENT PLANS	
EAST SIDE RETAIL CENTER	
KIRK ROAD AND LEGACY BOULEVARD ST. CHARLES, ILLINOIS	
SOUTH GRADING PLAN	

SHEET NO.	C301
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Layout Tab Name: C302 NORTH GRADING PLAN, Images: Xrefs: 077821-TBLK.dwg; 077821-F.dwg; 077821-X.dwg; 077821-X-DIGITIZED.dwg
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PROJECT No:	DATE	REVISION
077821		
DATE 12/28/18		
DES. BY	05/15/19	PER PJD COMMENTS
DR. BY	03/27/19	PER PJD COMMENTS
CKD. BY	03/08/19	ISSUED FOR PERMIT REVIEW
	11/09/17	ISSUED FOR PJD SUBMITAL

1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
WOOLBERT
 CONSULTING ENGINEERS
 630.424.9880
 FAX: 630.495.3731

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS
NORTH GRADING PLAN

SHEET NO.
C302

Layout Tab Name: C305 EROSION CONTROL DETAILS, Images: Construction Entrance Page 1.rvt, Construction Entrance Page 2.rvt, FLEXSTORM_CATCH_IT_SUBMITTAL.rvt, Silt Fence.rvt, Xref.rvt, 07/16/21 - TBLK.dwg
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EROSION CONTROL REQUIREMENTS FOR COMPLIANCE WITH EPA'S GENERAL PERMIT FOR CONSTRUCTION

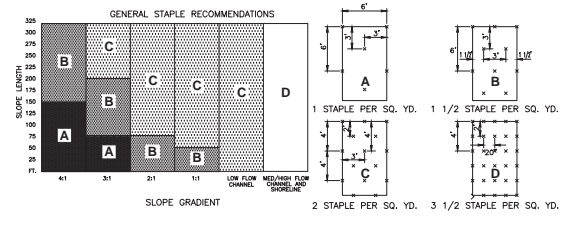
- THE EROSION CONTROL MEASURES INCLUDED IN THE STORM WATER POLLUTION PREVENTION PLAN (GRADING/EROSION CONTROL PLAN AND EROSION CONTROL DETAILS) SHALL BE INSTALLED PRIOR TO INITIAL LAND DISTURBANCE ACTIVITIES OR AS SOON AS PRACTICAL. SEDIMENT SHALL BE PREVENTED FROM DISCHARGING FROM THE PROJECT SITE BY INSTALLING AND MAINTAINING SILT FENCE, STRAW BALES, SEDIMENT BASINS, ETC. AS SHOWN ON THIS PLAN. IF SHOWN ON THESE PLANS, COMPLIANCE IS REQUIRED WITH ALL STATE OR FEDERAL REGULATIONS REGARDING WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEMS.
- THE CONTRACTOR SHALL CONTROL WASTES, GARBAGE, DEBRIS, WASTEWATER, AND OTHER SUBSTANCES ON THE SITE IN SUCH A WAY THAT THEY SHALL NOT BE TRANSPORTED FROM THE SITE BY THE ACTION OF WINDS, STORM WATER RUNOFF, OR OTHER FORCES. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES AND UNUSED BUILDING MATERIAL, APPROPRIATE TO THE NATURE OF THE WASTE OR MATERIAL IS REQUIRED. COMPLIANCE IS REQUIRED WITH ALL STATE OR LOCAL REGULATIONS REGARDING WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEMS.
- PUBLIC OR PRIVATE ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT, BULK CLEARING OR ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE LOCATION. SEDIMENT SHALL BE REMOVED AT THE END OF EACH WORKDAY.
- ALL ON-SITE STORM DRAIN INLETS SHALL BE PROTECTED AGAINST SEDIMENTATION WITH STRAW BALES, FILTER FABRIC, OR EQUIVALENT BARRIERS AS SHOWN ON THESE PLANS.
- EXCEPT AS PREVENTED BY INCLEMENT WEATHER CONDITIONS, ALL DISTURBED AREAS TO REMAIN INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED BY SEEDING, SOODING, MULCHING, COVERING, OR BY OTHER EQUIVALENT EROSION CONTROL MEASURES WITHIN SEVEN (7) DAYS. PERMANENT SOIL STABILIZATION SHALL BE PROVIDED WITHIN 7 DAYS AFTER FINAL GRADE IS ESTABLISHED.
- THE EROSION CONTROL PLAN SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE. ALL MEASURES INVOLVING EROSION CONTROL PRACTICES SHALL BE INSTALLED UNDER THE GUIDANCE OF QUALIFIED PERSONNEL EXPERIENCED IN EROSION CONTROL, AND FOLLOWING THE PLANS AND SPECIFICATIONS INCLUDED HEREIN.
- DURING THE PERIOD OF CONSTRUCTION ACTIVITY, ALL SEDIMENT BASINS AND OTHER EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR. AT COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE TRANSFER OF MAINTENANCE RESPONSIBILITIES, IF REQUIRED, WITH THE OWNER. MAINTENANCE SHALL BE IN ACCORDANCE WITH THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, 1987, AND THE STORMWATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH ILLINOIS ENVIRONMENTAL PROTECTION AGENCY NPDES PERMIT FOR GENERAL CONSTRUCTION AND ALL PRACTICES WILL MEET OR EXCEED THOSE DETAILED IN THE ILLINOIS URBAN MANUAL.
- EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS PRACTICAL.
- ALL EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED IN ACCORDANCE WITH THE CONDITIONS OF APPLICABLE NPDES PERMITS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE REMOVED AND DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.
- THIS EROSION CONTROL PLAN MUST BE RETAINED ON-SITE AT ALL TIMES DURING THE PERIOD OF CONSTRUCTION.
- STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E. PERIMETER SILT FENCE). STOCKPILES TO REMAIN IN PLACE FOR 21 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
- ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE ONLY.
- IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
- ANY SEDIMENT REACHING THE STORM SEWER SYSTEM SHALL BE REMOVED FROM THE SEWER AND NOT FLUSHED DOWNSTREAM.
- ANY ERODED SEDIMENT CAPTURED IN DETENTION, RETENTION, OR DEPRESSION STORAGE AREAS SHALL BE REMOVED BY THE APPLICANT BEFORE PROJECT COMPLETION.
- WIND EROSION AND CONTROLLING DUST ON THE PROJECT SITE SHALL BE ADDRESSED BY USING THE FOLLOWING METHODS (OR APPROVED EQUALS):
 - FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - PROVIDE GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
- ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTION.
- ALL STORM SEWER FRAMES AND GRATES/LIDS SHALL BE MARKED WITH "DUMP NO WASTE" AND "DRAINS TO CREEK".

STABILIZATION TYPE:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			A									
DORMANT SEEDING	B											
TEMPORARY SEEDING			C			D						
SOODING			E**									
MULCHING	F											

- A = KENTUCKY BLUEGRASS @ 90 LBS/AC, MIXED WITH PERENNIAL RYEGRASS @ 30 LBS/AC.
 B = KENTUCKY BLUEGRASS @ 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS @ 45 LBS/AC, PLUS 2 TON/AC, STRAW MULCH
 C = SPRING OATS @ 100 LBS/AC.
 D = WHEAT OR CERIAL, RTE @ 150 LBS/AC
 E = SOD
 F = STRAW MULCH @ 2 TONS/AC.
 ** = IRRIGATION NEEDED DURING JUNE AND JULY
 ** = IRRIGATION NEEDED FOR 2-3 WEEKS AFTER APPLYING SOD
- REF. = SCS "WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREAS".

TYPICAL SOIL PROTECTION DETAILS

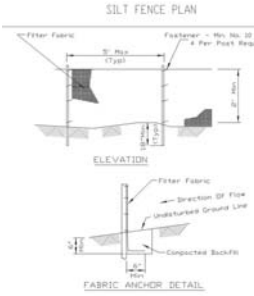
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- NOTE:
- CHANNEL LINING UTILIZE STAPLE PATTERN "C" WITH ADDITIONAL STAPLES ON SIDE SLOPES AT PROJECTED WATER LINE.
 - STAPLE PATTERNS APPLY TO ALL NORTH AMERICAN GREEN EROSION CONTROL BLANKETS. STAPLE PATTERNS MAY VARY DEPENDING UPON SOIL TYPE AND AVERAGE RAINFALL.
 - AT SLOPE LENGTHS GREATER THAN 300 FEET OR WHERE DRAINAGE OVER LARGE AREAS IS DIRECTED ONTO THE BLANKETS, STAPLE PATTERN "C" SHOULD BE UTILIZED.
 - EROSION CONTROL MAT SHALL BE PLACED ON ALL DISTURBED AREAS

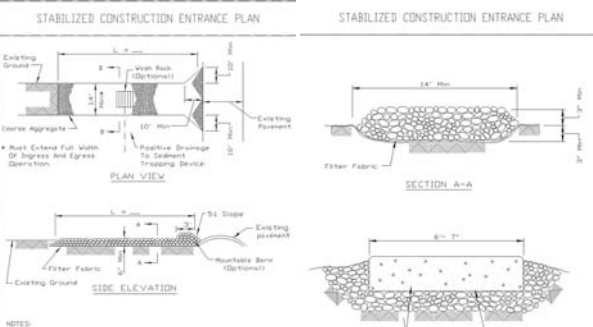
EROSION CONTROL MAT INSTALLATION GUIDE DETAILS

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C305



- NOTES:
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site production.
 - Filter fabric shall meet the requirements of material specification: 90 Geotextile Fabric 1 or 2, Class 2 with minimum opening size of at least 20 for nonwoven and 80 for woven.
 - Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 30 sq. in.

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C305



Project	Site	Drawn	Checked	Approved

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C305

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
 PRODUCT SELECTION AND SPECIFICATION DRAWING

NOTES:

- ALL FRAMING IS CONSTRUCTED BY THE BUYER. FRAMING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR 7 YEAR MINIMUM SERVICE LIFE.
- UPON ORDERING, CONSTRUCTION OF THE BUYER SHALL BE COMPLETED ON THE DAY OF DELIVERY. THE BUYER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FILTERS FROM DAMAGE AND DISRUPTION. THE BUYER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FILTERS FROM DAMAGE AND DISRUPTION. THE BUYER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE FILTERS FROM DAMAGE AND DISRUPTION.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.FLEXSTORM.COM

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER OVER SPECIFIED OR CONCRETE STRUCTURE
- REPLACE GRATE

FLEXSTORM CATCH IT

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C305

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

EROSION CONTROL DETAILS

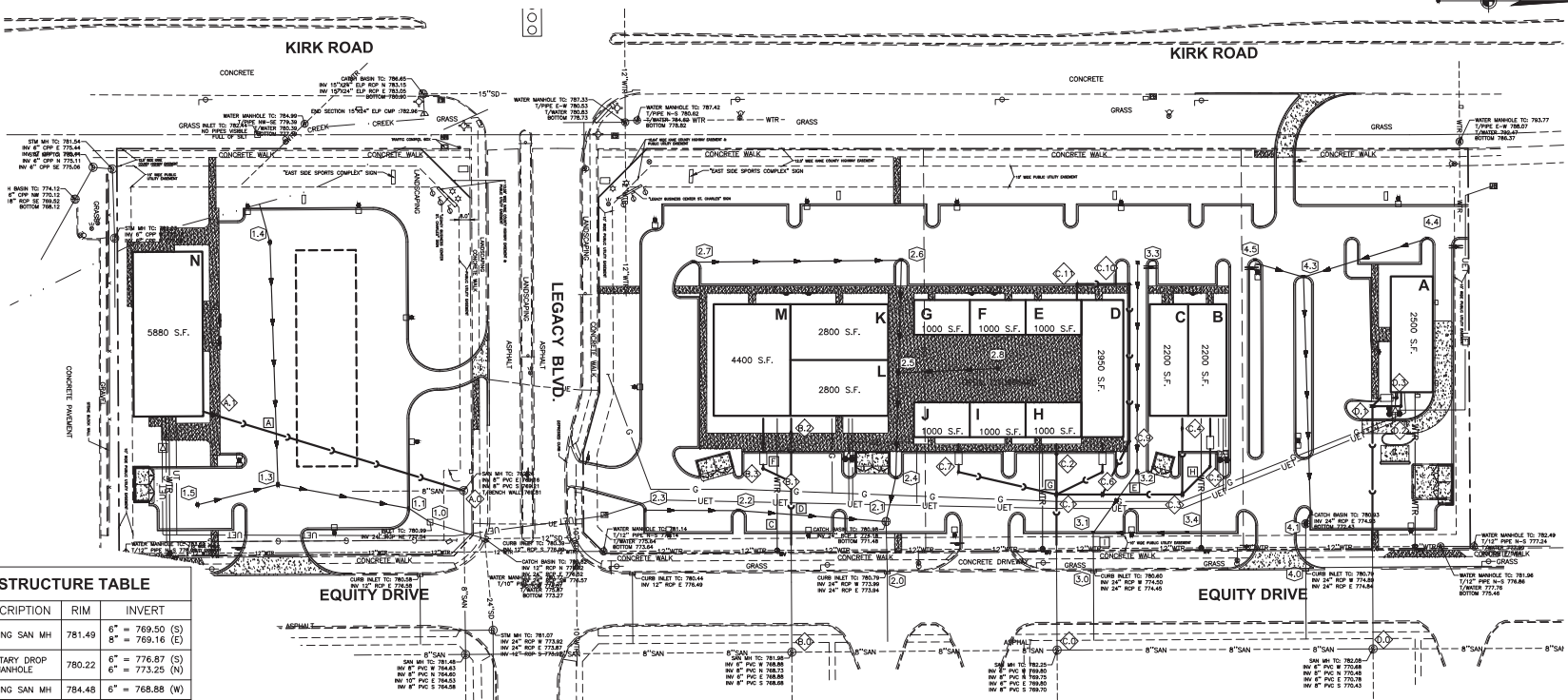
SHEET NO. **C305**

PROJECT No.:	DATE	DES.	DR.	CKD.
077621	12/28/18	JH	DH	JC

REVISION	DATE	ISSUED FOR
1	03/08/19	ISSUED FOR PERMIT REVIEW
2	11/09/17	ISSUED FOR PUD SUBMITTAL

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 Suite 950
 Oakbrook Terrace, IL 60181
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WOOLBERT



SANITARY STRUCTURE TABLE

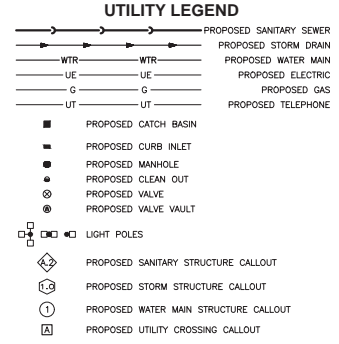
STRUCTURE ID	DESCRIPTION	RIM	INVERT
A.0	EXISTING SAN MH	781.49	6" = 769.50 (S) 8" = 769.16 (E)
A.1	SANITARY DROP MANHOLE	780.22	6" = 776.87 (S) 6" = 773.25 (N)
B.0	EXISTING SAN MH	784.48	6" = 768.88 (W)
B.1	SANITARY MANHOLE	776.55	6" = 770.10 (W) 6" = 770.10 (E) 6" = 772.00 (SW)
B.2	CLEAN OUT	771.64	6" = 770.45 (W) 6" = 770.45 (E)
B.3	CLEAN OUT	780.92	6" = 772.44 (W) 6" = 772.44 (NE)
C.0	EXISTING SAN MH	770.34	6" = 769.80 (W)
C.1	SANITARY MANHOLE	782.53	6" = 770.92 (W) 6" = 770.92 (E) 6" = 770.92 (N) 6" = 772.50 (S) 6" = 772.50 (NW)
C.2	CLEAN OUT	772.53	6" = 771.20 (W) 6" = 771.20 (E)
C.3	SANITARY MANHOLE	776.85	6" = 771.82 (W) 6" = 771.82 (S) 6" = 773.50 (NW)
C.4	CLEAN OUT	773.48	6" = 772.29 (W) 6" = 772.29 (E)
C.5	CLEAN OUT	780.94	6" = 774.07 (W) 6" = 774.07 (SE)
C.6	CLEAN OUT	778.98	6" = 773.23 (W) 6" = 773.23 (SE)
C.7	CLEAN OUT	781.08	6" = 773.94 (W) 6" = 773.94 (N)
C.8	SANITARY MANHOLE	783.21	6" = 771.24 (N) 6" = 771.24 (S) 6" = 771.14 (NW)
C.9	CLEAN OUT	784.47	6" = 771.57 (W) 6" = 771.57 (SE)
C.10	CLEAN OUT	784.19	6" = 772.70 (S) 6" = 772.70 (E)
C.11	CLEAN OUT	774.26	6" = 773.08 (E) 6" = 773.08 (N)
D.0	EXISTING SAN MH	771.22	6" = 770.68 (W)
D.1	SANITARY MANHOLE	778.87	6" = 772.42 (N) 6" = 772.42 (E) 6" = 774.00 (NW)

STORM STRUCTURE TABLE

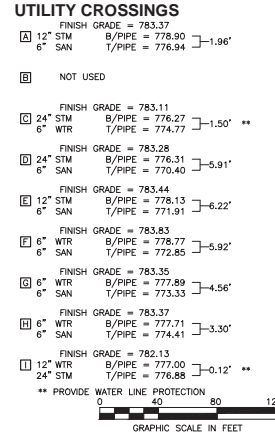
STRUCTURE ID	DESCRIPTION	RIM/GRATE	INVERT
1.0	EXISTING STORM STRUCTURE	781.28	12" = 777.68 (SW) 24" = 777.54 (N)
1.1	CURB INLET	780.67	12" = 777.86 (S) 12" = 777.86 (NE)
1.3	STORM MH 48" DIA	782.56	12" = 778.81 (W) 12" = 778.81 (E) 12" = 778.81 (S)
1.4	STORM MH 48" DIA	783.64	12" = 780.13 (E) 12" = 780.13 (W)
1.5	STORM MH 48" DIA	782.68	12" = 779.40 (N)
2.0	EXISTING CURB INLET	777.91	24" = 773.99 (W) 12" = 773.94 (E)
2.1	EXISTING CATCH BASIN	783.22	24" = 778.21 (S) 24" = 778.17 (W)
2.2	CURB INLET	782.64	24" = 776.63 (S) 24" = 776.63 (N)
2.3	CURB INLET	781.38	24" = 776.90 (N)
2.4	CURB INLET	784.19	12" = 778.71 (W) 12" = 778.50 (E)
2.5	STORM MH 48" DIA	785.26	12" = 779.08 (W) 12" = 779.08 (E) 12" = 779.90 (N)
2.6	SHALLOW CURB INLET	784.20	12" = 779.41 (E) 12" = 779.41 (S)
2.7	SHALLOW CURB INLET	784.08	12" = 780.00 (N)
2.8	CATCH BASIN	783.84	12" = 780.19 (S)
3.0	CURB INLET	778.42	24" = 774.50 (W) 24" = 774.45 (E)

STORM STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM/GRATE	INVERT
3.1	CURB INLET	782.00	12" = 777.94 (NW) 12" = 776.83 (N) 24" = 774.74 (E)
3.2	STORM MH 48" DIA	783.71	12" = 778.50 (W) 12" = 778.50 (SE)
3.3	CATCH BASIN	784.03	12" = 780.00 (E)
3.4	CURB INLET	781.57	12" = 777.50 (S)
4.0	EXISTING CURB INLET	780.79	24" = 774.89 (W) 24" = 774.84 (E)
4.1	EXISTING CATCH BASIN	783.29	12" = 778.49 (NW) 24" = 774.93 (E)
4.2	CURB INLET	782.92	12" = 778.67 (W) 12" = 778.57 (SE)
4.3	CURB INLET	786.63	12" = 780.36 (E) 12" = 782.13 (N) 12" = 780.36 (S)
4.4	CURB INLET	786.92	12" = 782.50 (N)
4.5	CURB INLET	784.73	12" = 780.50 (N)



- UTILITY NOTES**
- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR ELECTRIC SERVICE AND TRANSFORMER LOCATION.
 - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR NATURAL GAS SERVICE.
 - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR TELEPHONE SERVICE.



REVISION

No.	DATE	DESCRIPTION
1	11/09/17	ISSUED FOR PUD SUBMITTAL
2	03/08/19	ISSUED FOR PERMIT REVIEW
4	05/15/19	PEF. PUD COMMENTS #2
DR.	JH	
BES.	TH	
DATE	10/28/18	
PROJECT No.	077621	

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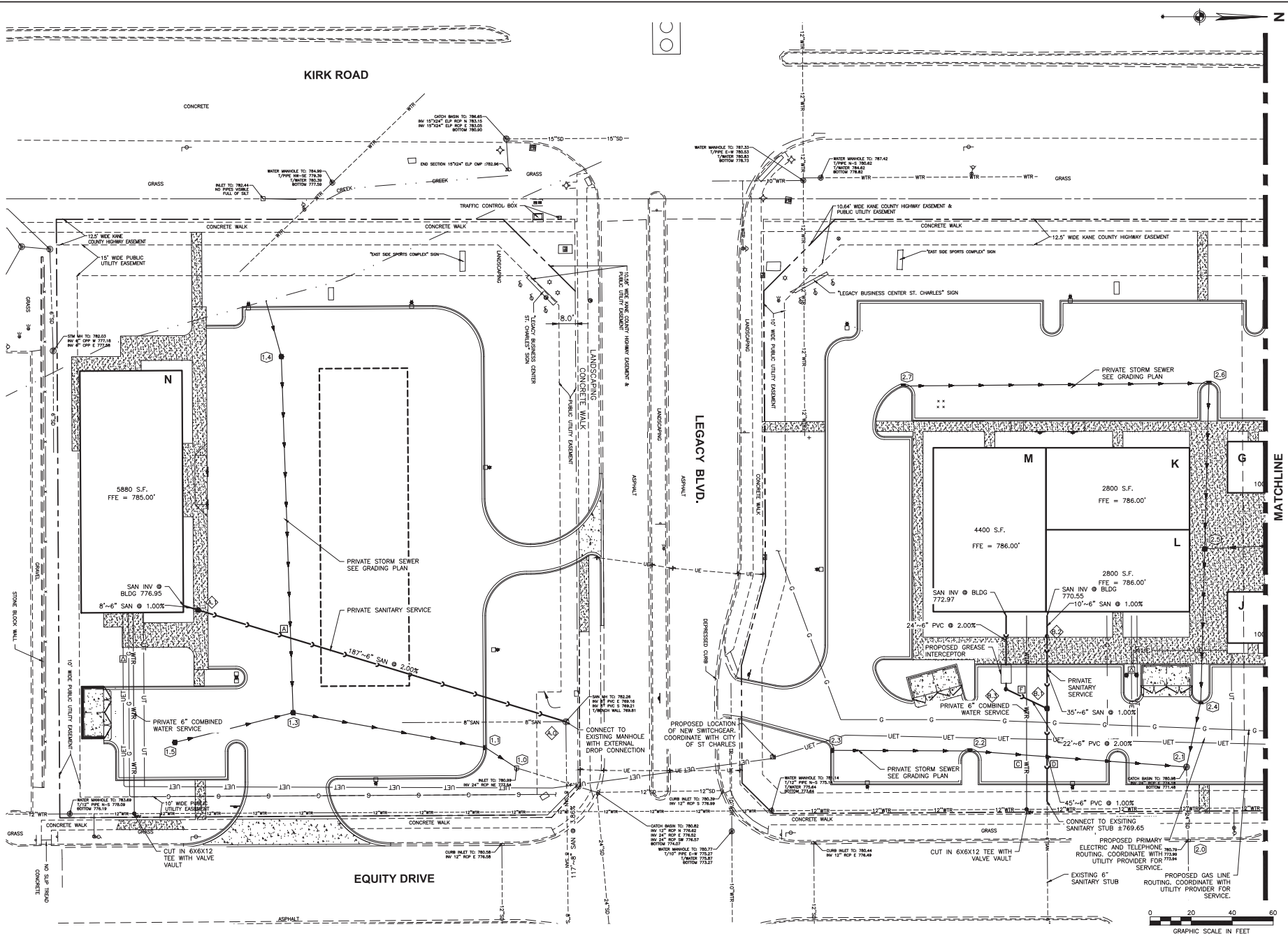
WOODBERT
CONSULTANTS

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
KIRK ROAD AND LEGACY BOULEVARD
ST. CHARLES, ILLINOIS

OVERALL UTILITY PLAN

SHEET NO. **C400**

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PROJECT No:	DATE	REVISION
077621	12/28/18	
DES: TH		
DR: DH	05/15/19	PER PJD COMMENTS #2
CKD: JS	03/08/19	ISSUED FOR PERMIT REVIEW
	11/09/17	ISSUED FOR PJD SUBMITTAL

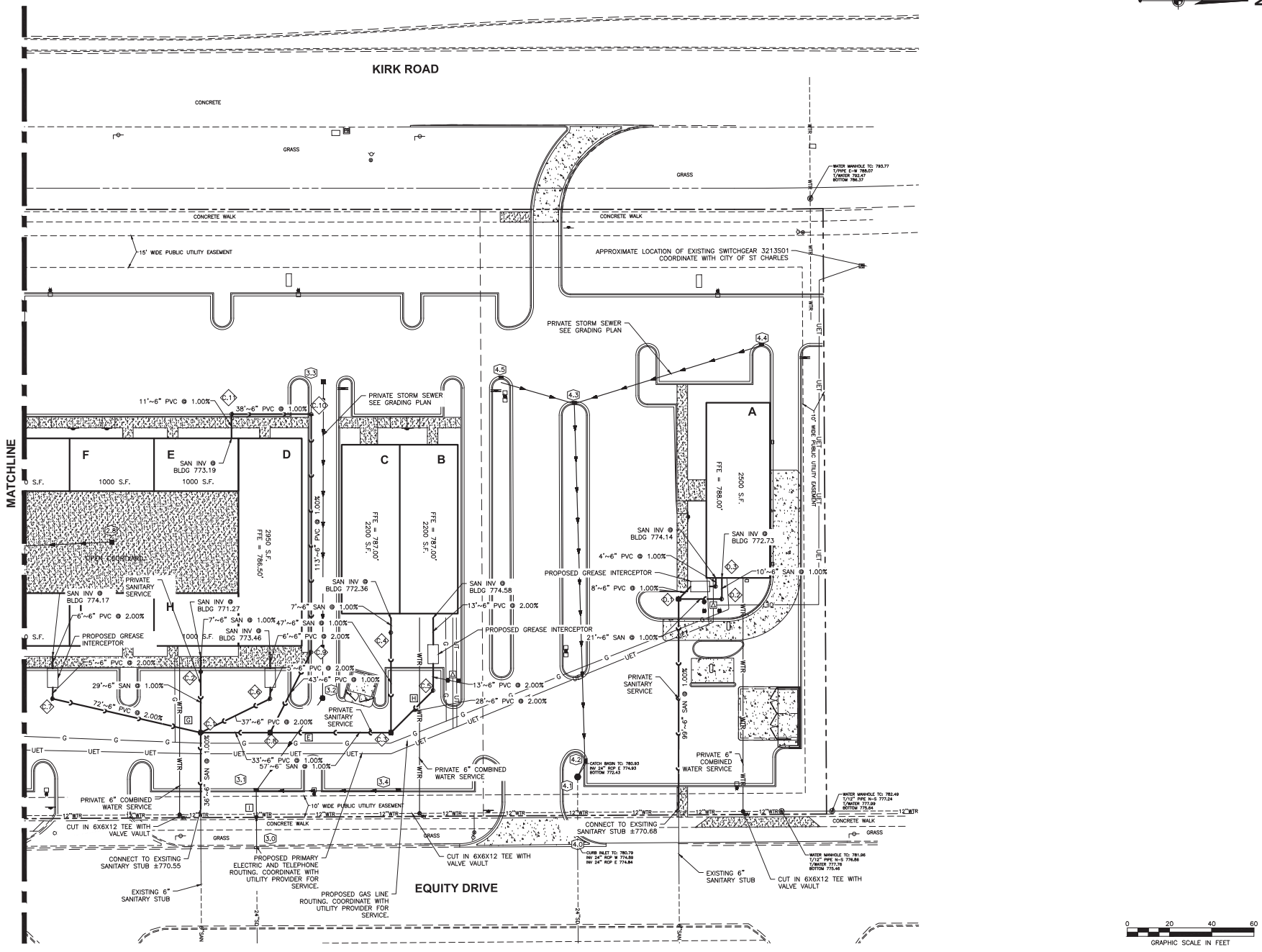
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SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

SOUTH UTILITY PLAN
 SHEET NO. **C401**

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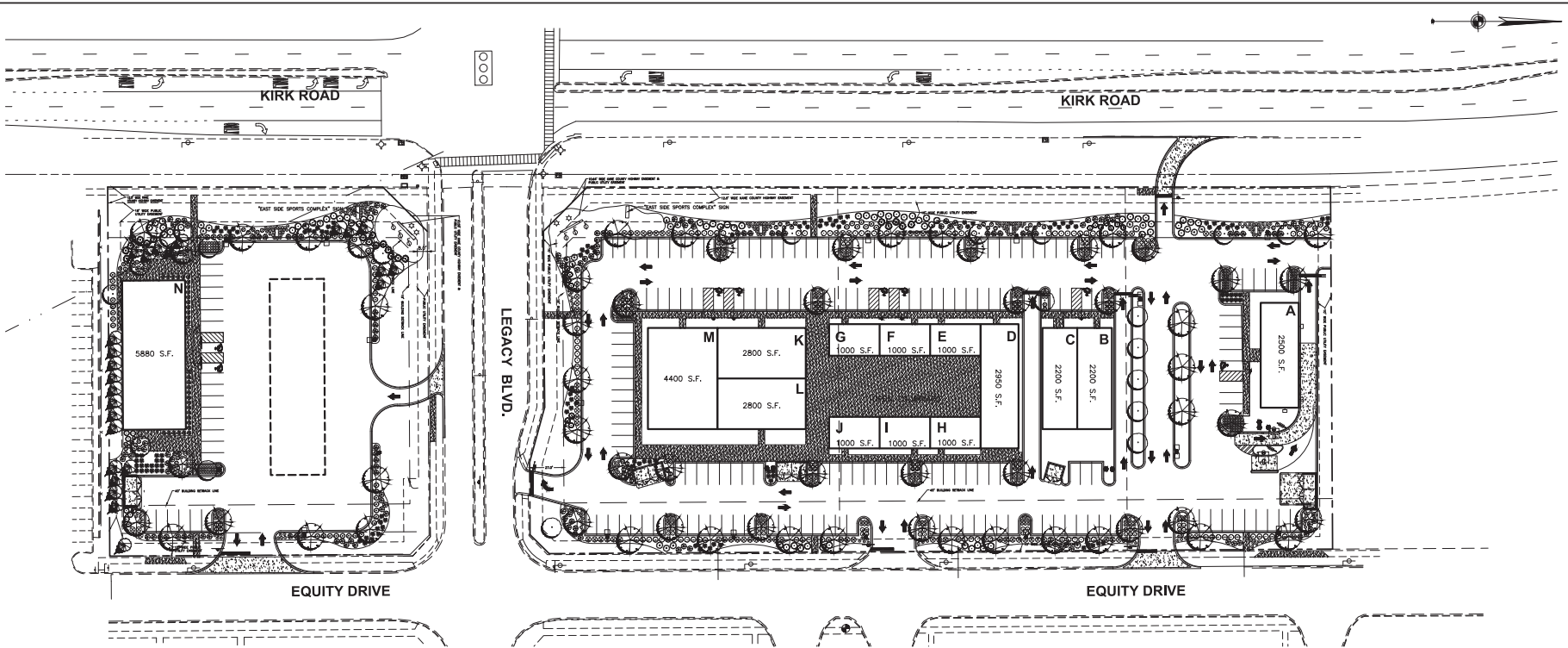
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DES.	TH	
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SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

NORTH UTILITY PLAN

SHEET NO. **C402**



LANDSCAPE NOTES

- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUNDCOVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-12 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO SPREADING SEED. ALL DISTURBED AREAS, INCLUDING RIGHT-OF-WAYS NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SEEDS.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.

OVERALL LANDSCAPE AREA

MAIN DEVELOPMENT	180,202 SF
TOTAL AREA:	52,480 SF (29%)
GAS STATION	72,948 SF
TOTAL AREA:	27,758 SF (38%)

LANDSCAPE BUFFERS (17,26,070)

FOR PROPERTY LINES ADJACENT TO DISSIMILAR USES PROVIDE A FORTY (40) FOOT BUFFER PLANTED FOR EVERY 400 SQUARE FEET OF REQUIRED LANDSCAPE BUFFER WITH ONE SHADE TREE OR TWO EVERGREEN TREES, PLUS ORNAMENTAL TREES, SHRUBS, ORNAMENTAL GRASSES, OR PERENNIALS AS NEEDED TO SOFTEN THE APPEARANCE OF SOLID FORMS

GAS STATION ACROSS KIRK ROAD FROM RESIDENTIAL (9,600 SF) = 23.75 SHADE TREES OR 47.5 EVERGREEN TREES PLUS ORNAMENTAL GRASSES, SHRUBS, OR PERENNIALS REQUIRED = TREES, SHRUBS, ORNAMENTAL GRASSES, AND PERENNIALS PROVIDED. LIMITED TREES DUE TO EASEMENT RESTRICTIONS

BUILDING FOUNDATION LANDSCAPING (17,26,080)

THE AMOUNT OF PLANTS REQUIRED SHALL BE CALCULATED BY DIVIDING THE TOTAL LINEAL FEET OF THE BUILDING'S WALLS BY FIFTY (50). PROVIDE ANY COMBINATION OF TWO (2) SHADE, ORNAMENTAL, OR EVERGREEN TREES AND (20) SHRUBS OR PERENNIALS FOR EVERY FIFTY (50) LF OF BUILDING WALL.

BUILDING A (226 LF)	= 9 TREES & 90.4 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING B (215 LF)	= 8.6 TREES & 86 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING C (215 LF)	= 8.6 TREES & 86 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING D (256 LF)	= 10 TREES & 102 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING E (130 LF)	= 5.2 TREES & 52 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE

LANDSCAPE CODE SUMMARY

BUILDING F (130 LF)	= 5.2 TREES & 52 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING G (130 LF)	= 5.2 TREES & 52 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING H (130 LF)	= 5.2 TREES & 52 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING I (130 LF)	= 5.2 TREES & 52 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING J (130 LF)	= 5.2 TREES & 52 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING K (220 LF)	= 8.8 TREES & 88 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING L (220 LF)	= 8.8 TREES & 88 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING M (270 LF)	= 10.8 TREES & 108 SHRUBS/PERENNIALS REQUIRED
=	WILL BE FINALIZED ONCE BUILDING DESIGN IS COMPLETE
BUILDING N (335 LF)	= 13.4 TREES & 134 SHRUBS/PERENNIALS REQUIRED
=	13 TREES & 134 SHRUBS/PERENNIALS PROVIDED
PUBLIC STREET FRONTAGE AND PARKING LOT LANDSCAPING (17,26,090.1)	
ONE (1) SHADE, ORNAMENTAL, OR EVERGREEN TREE IS REQUIRED PER EVERY FIFTY (50) LINEAL FEET OF PUBLIC STREET FRONTAGE. NO LESS THAN 75% OF THE PUBLIC STREET FRONTAGE SHALL BE PLANTED WITH A COMBINATION OF ORNAMENTAL SHRUBS, EVERGREEN SHRUBS, AND PERENNIALS.	
MAIN DEVELOPMENT KIRK ROAD (597 LF)	
=	11.9 TREES & 448 LF OF SHRUBS REQUIRED
=	12 TREES & 87 SHRUBS PROVIDED
LEGACY BOULEVARD (256 LF)	
=	5.1 TREES & 192 LF OF SHRUBS REQUIRED
=	5 TREES & 28 SHRUBS PROVIDED

EQUITY DRIVE (559 LF)	
=	11.1 TREES & 419 LF OF SHRUBS REQUIRED
=	11 TREES & 80 SHRUBS PROVIDED
GAS STATION KIRK ROAD (217 LF)	
=	4.3 TREES & 162 LF OF SHRUBS REQUIRED
=	4 TREES & 19 SHRUBS PROVIDED
LEGACY BOULEVARD (216 LF)	
=	4.3 TREES & 162 LF OF SHRUBS REQUIRED
=	4 TREES & 26 SHRUBS PROVIDED
EQUITY DRIVE (185 LF)	
=	3.7 TREES & 136 LF OF SHRUBS REQUIRED
=	4 TREES & 17 SHRUBS PROVIDED

SCREENING OF PARKING LOTS (17,26,090.2)

MET BY PUBLIC STREET FRONTAGE LANDSCAPING

INTERIOR PARKING LOT LANDSCAPING (17,26,090.3)

ONE LANDSCAPE ISLAND IS REQUIRED PER TEN (10) PARKING SPACES. PROVIDE ONE (1) SHADE TREE FOR EVERY LANDSCAPE ISLAND. ISLANDS SHALL ALSO BE PLANTED WITH A VARIETY OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, GRASSES, PERENNIALS, GROUNDCOVER, AND OTHER PLANT MATERIAL.

MAIN DEVELOPMENT (154 SPACES)	= 15.4 SHADE TREES REQUIRED
=	16 TREES PROVIDED
GAS STATION (23 SPACES)	= 2.3 SHADE TREES & OTHER PLANT MATERIAL REQUIRED
=	2 TREES & PROVIDED

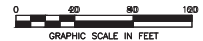
SIGN LANDSCAPING (17,26,100)

PROVIDE LANDSCAPE THREE (3) FEET FROM THE OUTER EDGE OF SIGN BASE.

SHRUBS PROVIDED AROUND ALL SIGN BASES

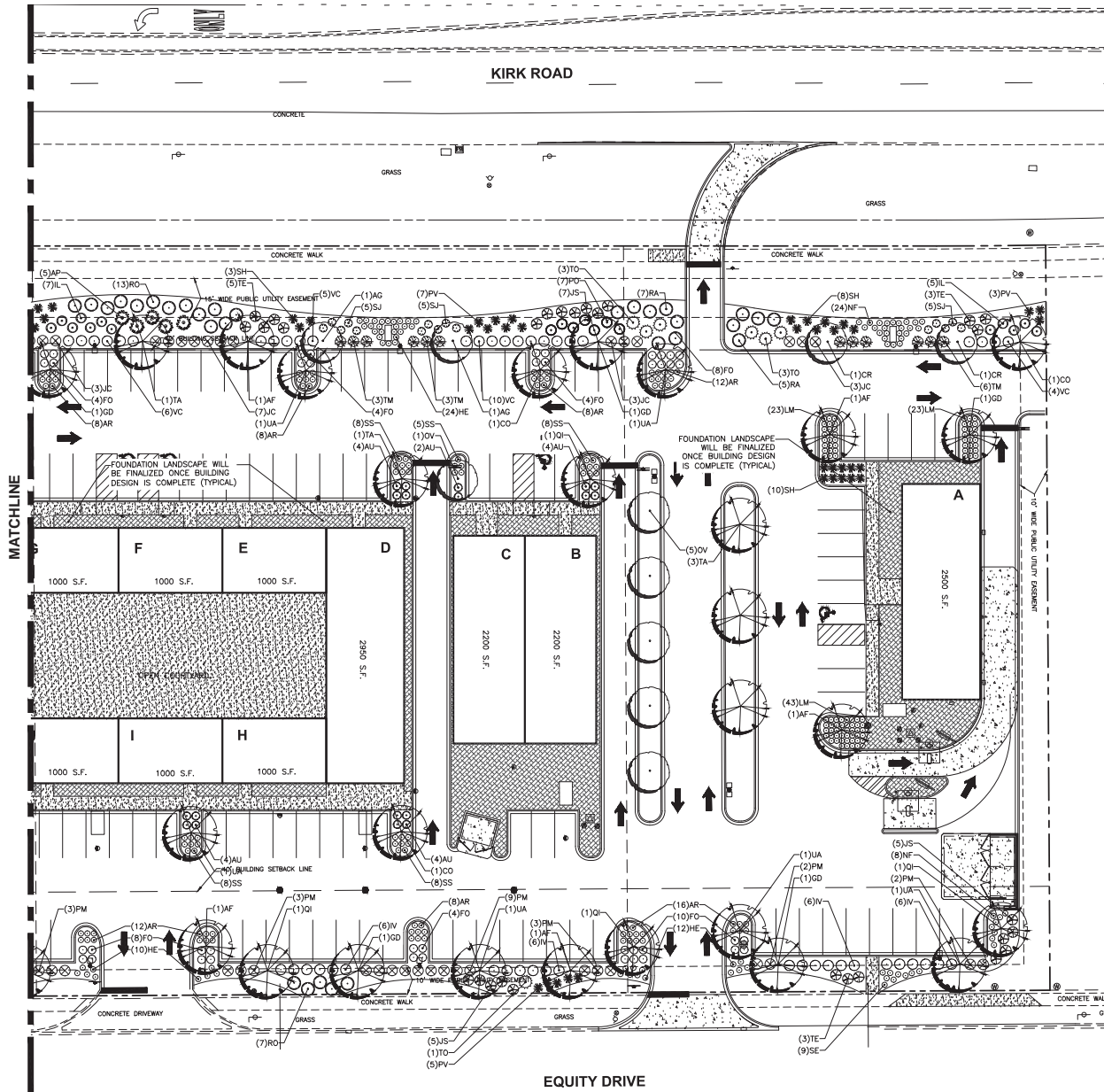
PERMANENT SEEDING

- ALL FILL AND OUT SLOPES SHOULD BE SEEDDED IMMEDIATELY AFTER CONSTRUCTION. SEED TO THE FOLLOWING GRASS MIXTURES:
- 6# TURF TYPE TALL FESCUE (TRIPLE BLEND)
 - 5# 12-12-12 FERTILIZER
 - 1 1/2 BALES OF STRAW PER 1000 SQUARE FEET ON 2:1 OR STEEPER SLOPES USE:
 - 2# CROWNVECH
 - 1 1/2# TALL FESCUE
 - 1 1/2# PERENNIAL RYEGRASS
 - 20# 5-10-10 FERTILIZER
 - 2 BALES OF STRAW PER 1000 SQUARE FEET



PROJECT No: 077621 DATE 10/28/18 DES. BY DR. BY CKD. JM	REVISION	DATE	NO.
1815 South Meyers Road Suite 860 Oakbrook Terrace, IL 60181 800.424.9080 FAX: 630.495.3721			
SITE IMPROVEMENT PLANS EAST SIDE RETAIL CENTER KIRK ROAD AND LEGACY BOULEVARD ST. CHARLES, ILLINOIS			
LANDSCAPE PLAN			
SHEET NO. C500			

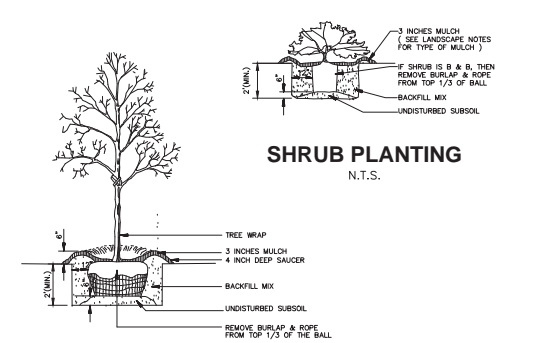
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PLANT SCHEDULE

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
SHADE TREE						
AF	10	<i>Acer x freemontii</i> 'Jefferson'	Autumn Blaze Maple	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
CO	9	<i>Celtis occidentalis</i> 'Patrie Pride'	Patrie Pride Hackberry	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
GD	10	<i>Gymnocladia dioica</i> 'Express'	Frutless KY Coffeetree	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
NS	1	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
TA	10	<i>Tilia americana</i> 'Redmond'	Redmond American Linden	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
QU	10	<i>Quercus imbricaria</i>	Shingle Oak	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
UA	9	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	B&B	2.5" col. 14"HL 7"wd	Full, well shaped
ORNAMENTAL / EVERGREEN TREE						
AS	3	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Apple Serviceberry	B&B	6"ht. 4"wd.	Full, well shaped, single-stem
AE	3	<i>Assoulea pavloa</i>	Red Buckeye	B&B	6"ht. 4"wd.	Full, well shaped, single-stem
CR	4	<i>Cercis canadensis</i>	Eastern Red Bud	B&B	6"ht. 4"wd.	Full, well shaped, single-stem
OC	4	<i>Ostrya virginiana</i>	American Hop Hornbeam	B&B	6"ht. 4"wd.	Full, well shaped, single-stem
OV	8	<i>Ostrya virginiana</i>	American Hop Hornbeam	B&B	6"ht. 4"wd.	Full, well shaped, single-stem
PG	10	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	B&B	6"ht. 4"wd.	Full to ground, well shaped
PF	15	<i>Pinus resinosa</i>	Limber Pine	B&B	6"ht. 4"wd.	Full to ground, well shaped
EVERGREEN SHRUB						
AU	53	<i>Arctostaphylos uva-ursi</i> 'Massachusetts'	Bearberry	#3 cont.	12"ht. 18"wd.	Full, vigorous
BU	33	<i>Buxus x 'Glencoe'</i>	Chicagoland Green Boxwood	#3 cont.	16"ht. 18"wd.	Full, vigorous
JC	38	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	#3 cont.	24"ht. 18"wd.	Full, vigorous
JS	52	<i>Juniperus chinensis sargentii</i> 'Midas'	Green Sargent Juniper	#3 cont.	12"ht. 18"wd.	Full, vigorous
TM	37	<i>Taxus x media</i> 'Densata'	Dense Yew	#3 cont.	24"ht. 18"wd.	Full, vigorous
TE	37	<i>Taxus x media</i> 'Everest'	Everest Yew	#3 cont.	12"ht. 18"wd.	Full, vigorous
TO	19	<i>Thuja occidentalis</i> 'Tachyn'	Tachyn Arborvitae	#3 cont.	36"ht. 18"wd.	Full, vigorous
PM	42	<i>Pinus mugo</i> 'Compacta'	Dwarf Mugo Pine	#3 cont.	24"ht. 18"wd.	Full, vigorous
DECIDUOUS SHRUB						
AP	21	<i>Aesculus parviflora</i>	Bottlebrush Buckeye	#3 cont.	24"ht. 24"wd.	Full, vigorous
CS	31	<i>Cornus sericea</i> 'Ipswich'	Dwarf Red Twig Dogwood	#3 cont.	24"ht. 18"wd.	Full, vigorous
FO	54	<i>Foraythia viridissima</i> 'Glennwood'	Greenstem Forsythia	#3 cont.	12"ht. 18"wd.	Full, vigorous
HP	25	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	#3 cont.	24"ht. 18"wd.	Full, vigorous
IL	20	<i>Ilex verticillata</i> 'Berry Poppins'	Berry Poppins Winterberry	#3 cont.	24"ht. 18"wd.	Full, vigorous
IV	41	<i>Itea virginica</i> 'Henry's Garnet'	Henry's Garnet Sweetgum	#3 cont.	24"ht. 18"wd.	Full, vigorous
PO	23	<i>Physocarpus opulifolius</i> 'Donna Yell'	Little Devil Ninebark	#3 cont.	24"ht. 18"wd.	Full, vigorous
RA	34	<i>Rosa orientalis</i> 'Ora-Low'	Ora-Low Fragrant Rose	#3 cont.	18"ht. 18"wd.	Full, vigorous
RO	33	<i>Rosa x 'Noosa'</i>	White Carpet Rose	#3 cont.	12"ht. 18"wd.	Full, vigorous
SJ	47	<i>Spiraea japonica</i> 'Shirobana'	Shirobana Spiraea	#3 cont.	18"ht. 18"wd.	Full, vigorous
VC	43	<i>Viburnum carlesii</i> 'Compactum'	Dwarf Koreanspice Viburnum	#3 cont.	24"ht. 18"wd.	Full, vigorous
PERENNIAL / ORNAMENTAL GRASS						
AR	104	<i>Arundo donax</i>	Bamboo	#1 cont.		
HE	70	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	#1 cont.		
LM	141	<i>Liriope muscari</i> 'Big Blue'	Big Blue Lilyturf	#1 cont.		
NF	81	<i>Nepeta x fossensis</i> 'Walker's Low'	Walker's Low Catmint	#1 cont.		
PV	62	<i>Panicum virgatum</i> 'Hot Rod'	Hot Rod Switchgrass	#1 cont.		
SH	63	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#1 cont.		
SE	47	<i>Sedum</i> 'Autumn Joy'	Autumn Joy Stonecrop	#1 cont.		
SS	93	<i>Sedum album</i>	Yellow Stonecrop	#1 cont.		

* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING
N.T.S.

SHRUB PLANTING
N.T.S.

GRAPHIC SCALE IN FEET: 0, 20, 40, 60

REVISION

No.	DATE	REVISION
1	05/15/19	PER P.D. COMMENTS #2
2	03/27/19	PER P.D. COMMENTS #1
3	03/08/19	ISSUED FOR PERMIT REVIEW
4	11/09/17	ISSUED FOR P.D. SUBMITTAL

PROJECT No: 077621
 DATE 10/28/18
 DR. ZZ
 C.D. JM

1816 South Meyers Road
 Suite 860
 Oakbrook Terrace, IL 60181
 630.424.9880
 FAX: 630.495.3731

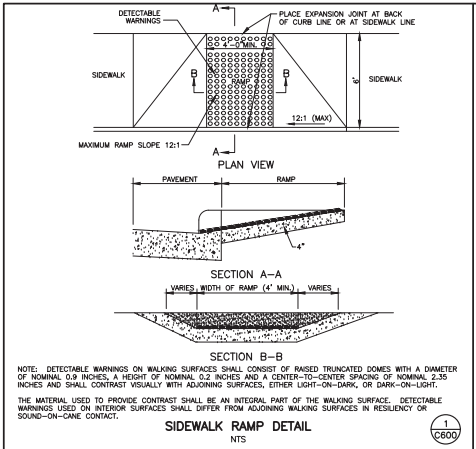
WOODBERT
 LANDSCAPE ARCHITECTS

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

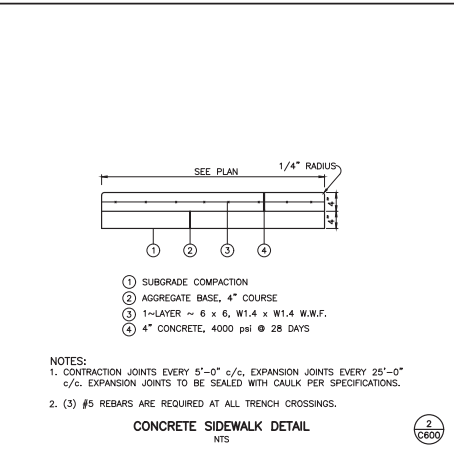
NORTH LANDSCAPE PLAN

SHEET NO. **C502**

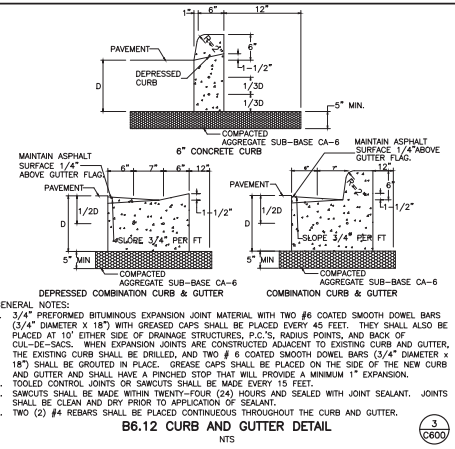
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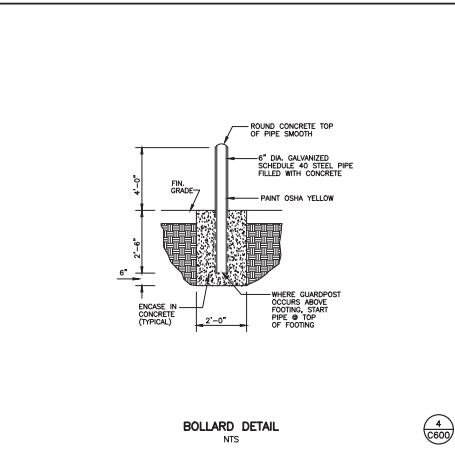
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 C600



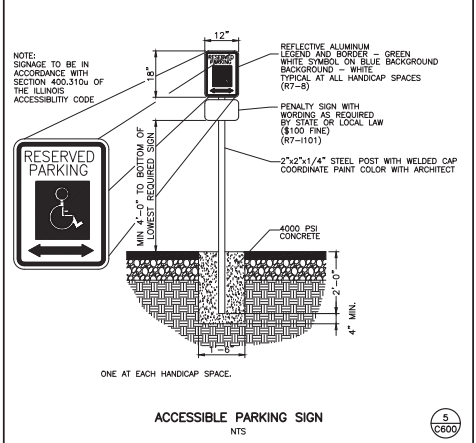
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 2
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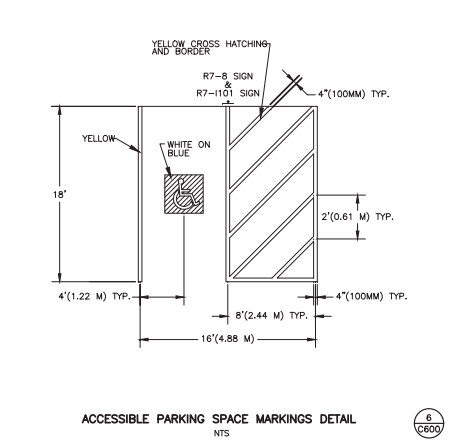
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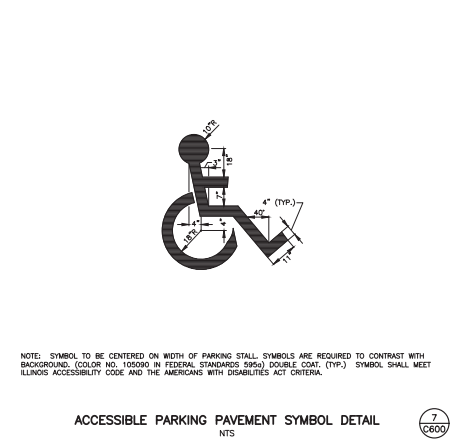
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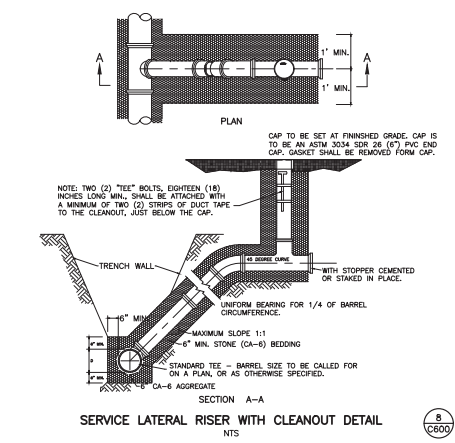
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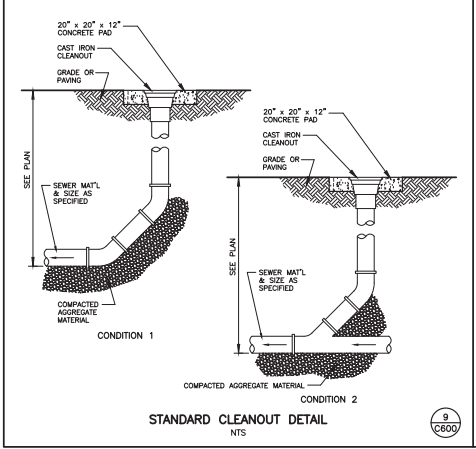
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ACCESSIBLE PARKING PAVEMENT SYMBOL DETAIL
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 7
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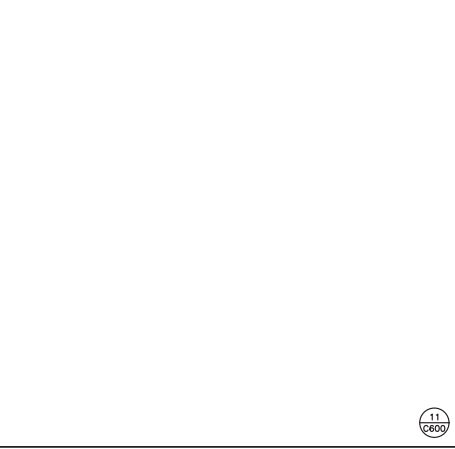
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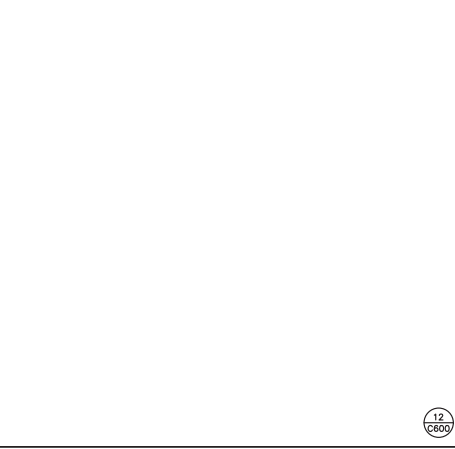
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STANDARD CLEANOUT DETAIL
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 10
 C600



STANDARD CLEANOUT DETAIL
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 11
 C600



STANDARD CLEANOUT DETAIL
 NTS
 12
 C600

PROJECT No: 077621		REVISION
DATE 12/28/18		DATE
DES: TH		NO.
DR: DH		DATE
CKD: JS		NO.
ISSUED FOR PERMIT REVIEW		NO.
ISSUED FOR PUD SUBMITTAL		NO.

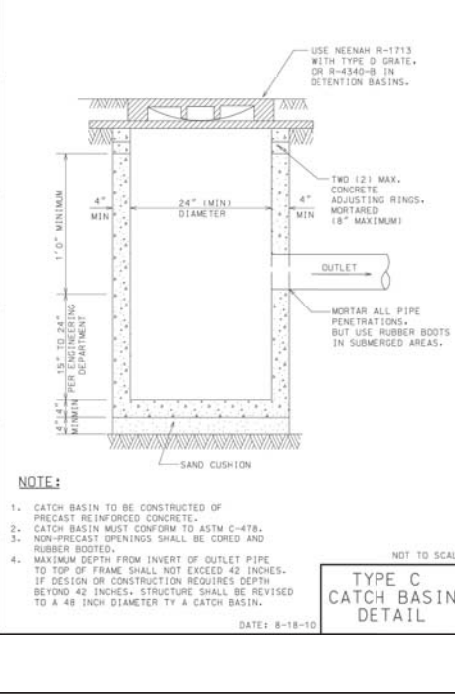
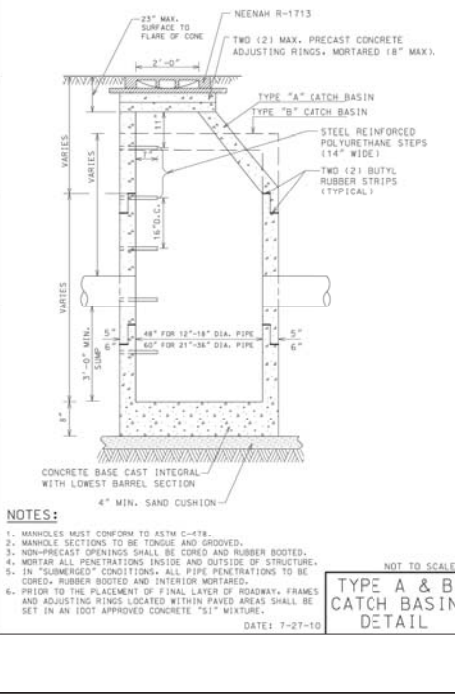
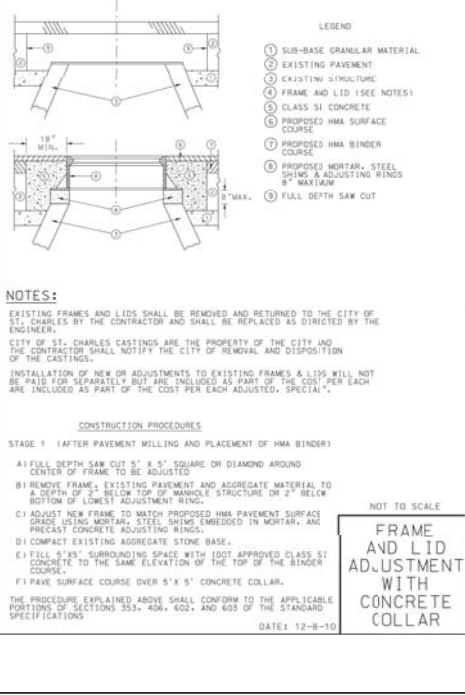
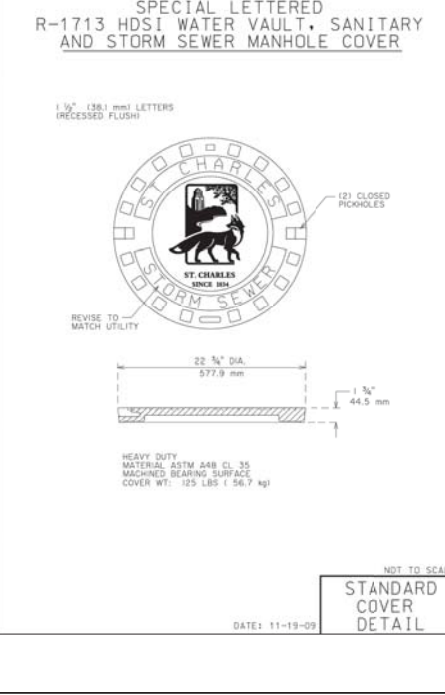
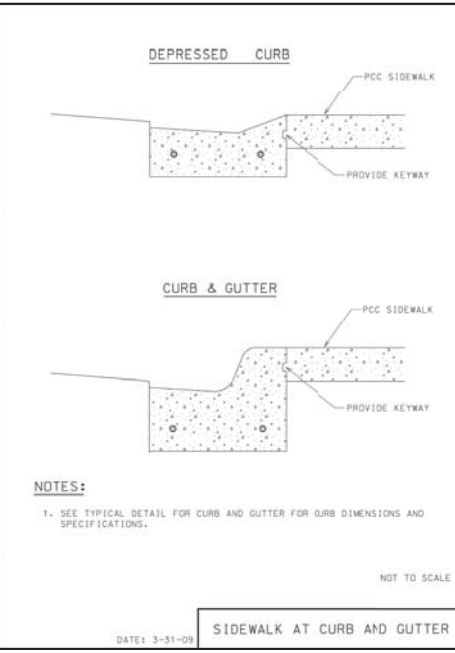
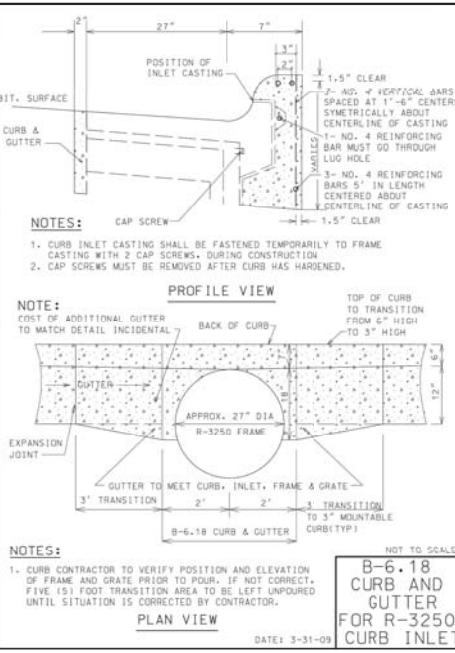
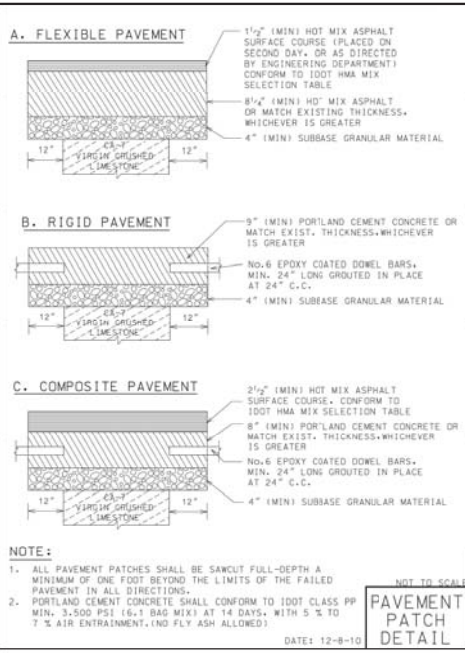
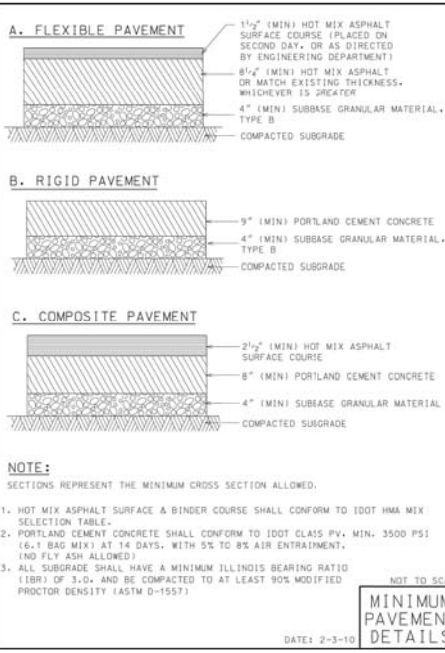
1815 South Meyers Road
 Suite 950
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 (800) 424-9880
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WOODBERT
 ENGINEERS ARCHITECTS

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

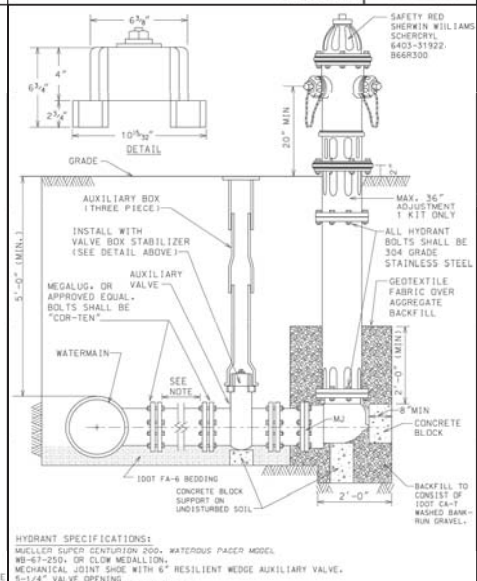
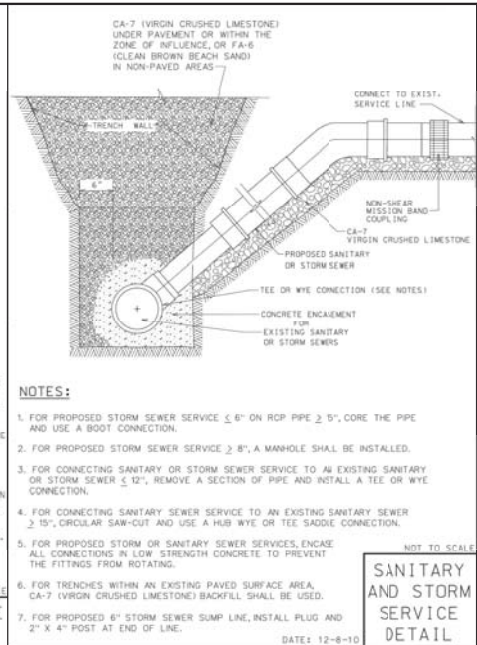
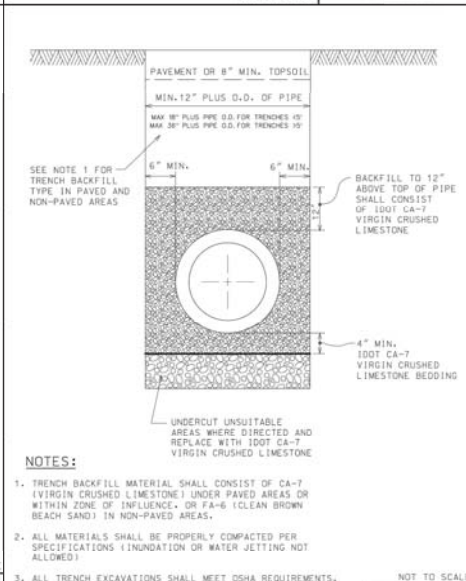
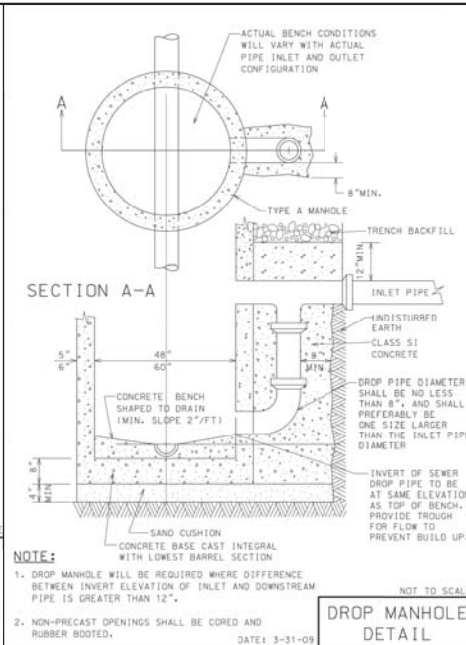
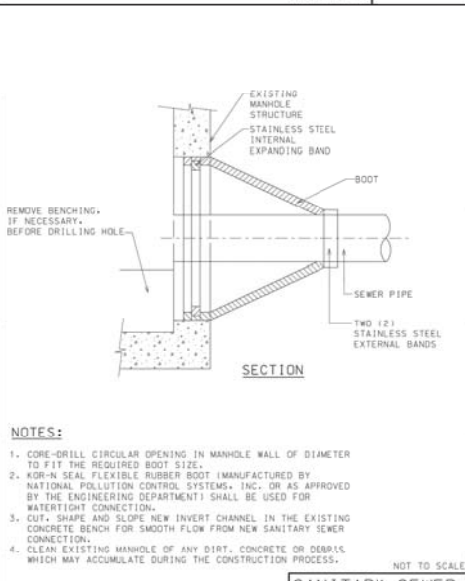
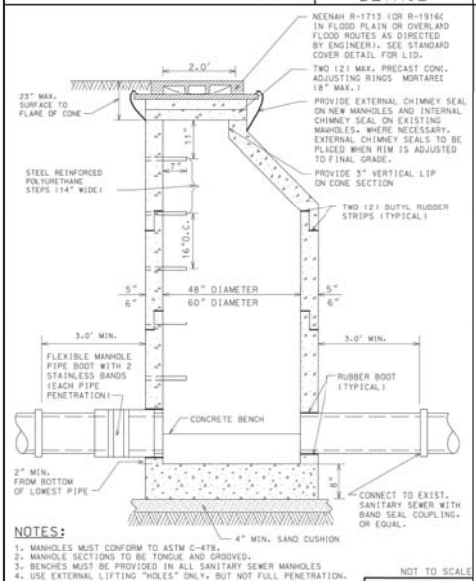
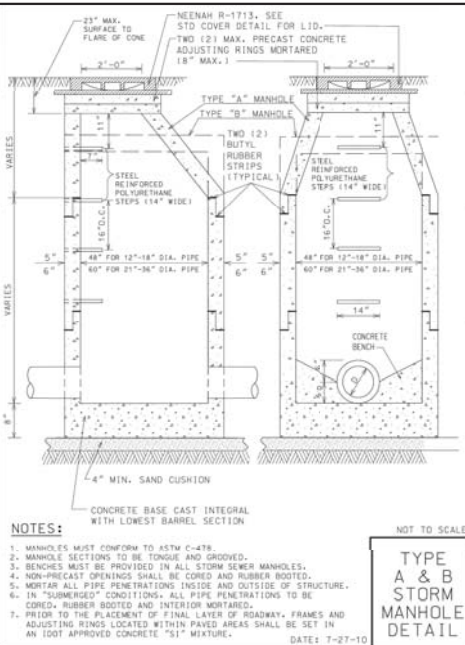
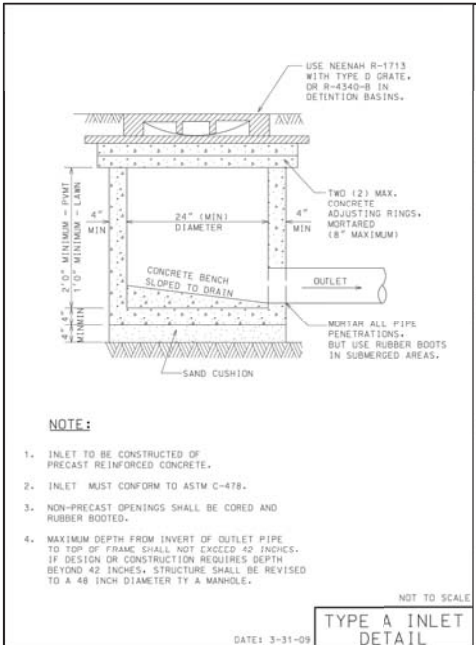
DETAILS

SHEET NO. **C600**



PROJECT No: 07762.1 DATE 12/28/18 DES. BY DR. DH CKD. JS	REVISION	No.	DATE	
1816 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 800.424.9880 FAX: 630.953.371		WOLBERT ST. CHARLES, ILLINOIS		
SITE IMPROVEMENT PLANS		DETAILS		
EAST SIDE RETAIL CENTER				
KIRK ROAD AND LEGACY BOULEVARD				
ST. CHARLES, ILLINOIS				
SHEET NO.		C601		

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NO.	DATE	REVISION
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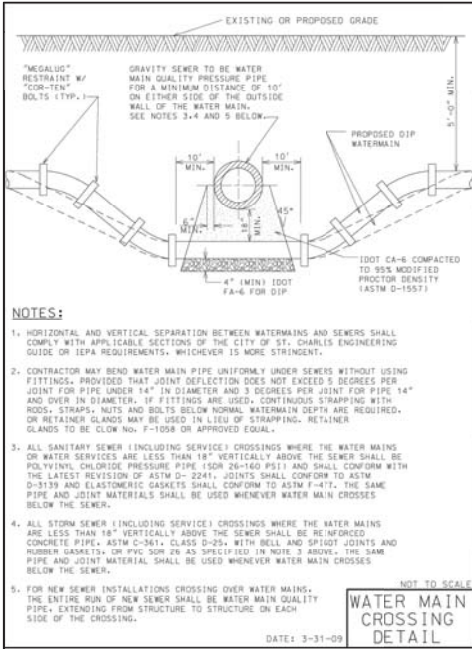
PROJECT No: 077621
 DATE 12/28/18
 DES. JH
 DR. DH
 CKD. JC

1816 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 DR. DH
 800.424.9880
 FAX: 630.955.3731

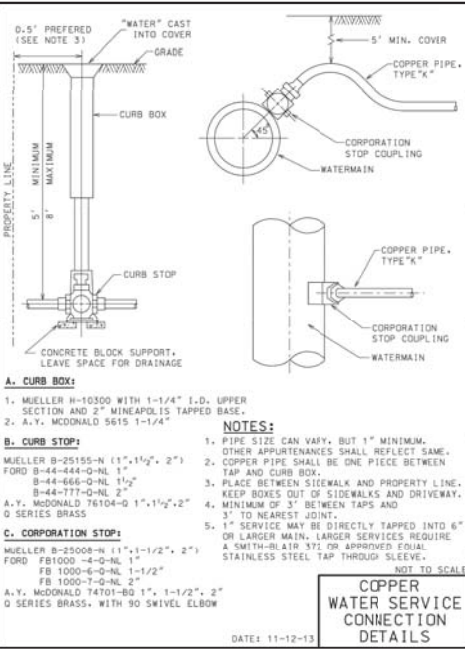
WOODBERT
 ENGINEERS & ARCHITECTS

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 MIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

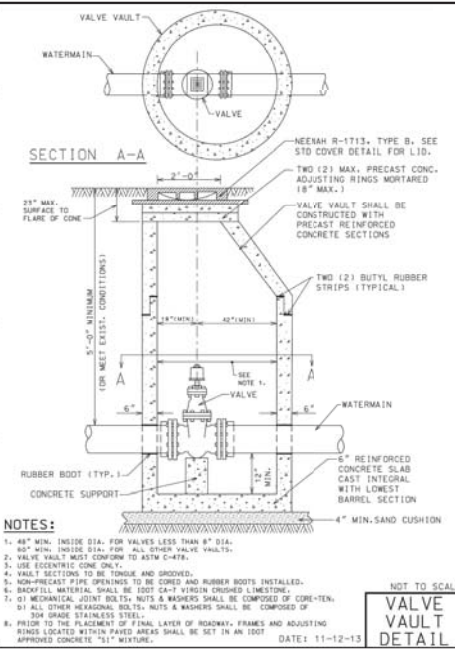
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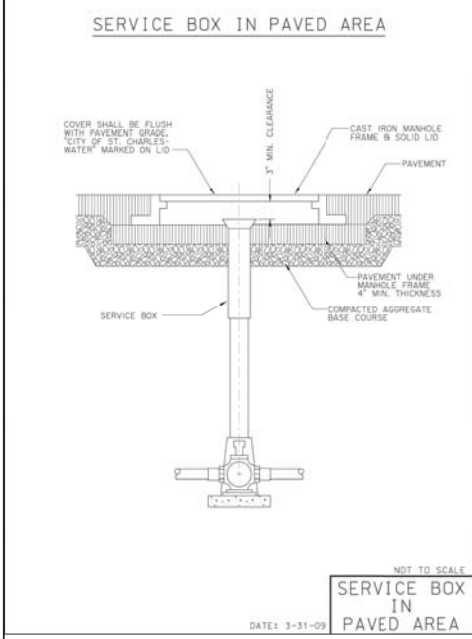
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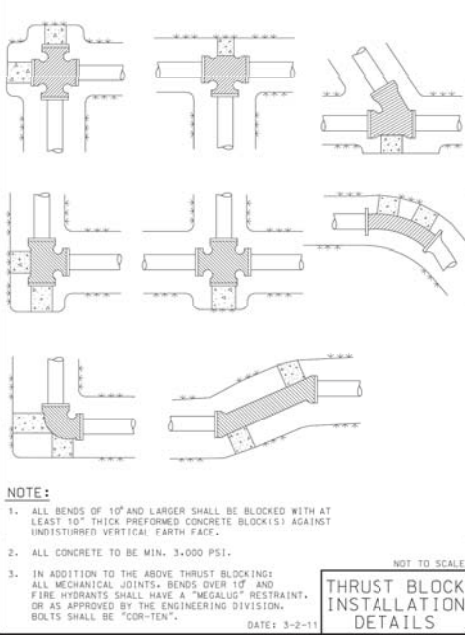
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VALVE VAULT DETAIL
 DATE: 11-12-13



SERVICE BOX IN PAVED AREA
 DATE: 3-31-09



THRUST BLOCK INSTALLATION DETAILS
 DATE: 3-2-11

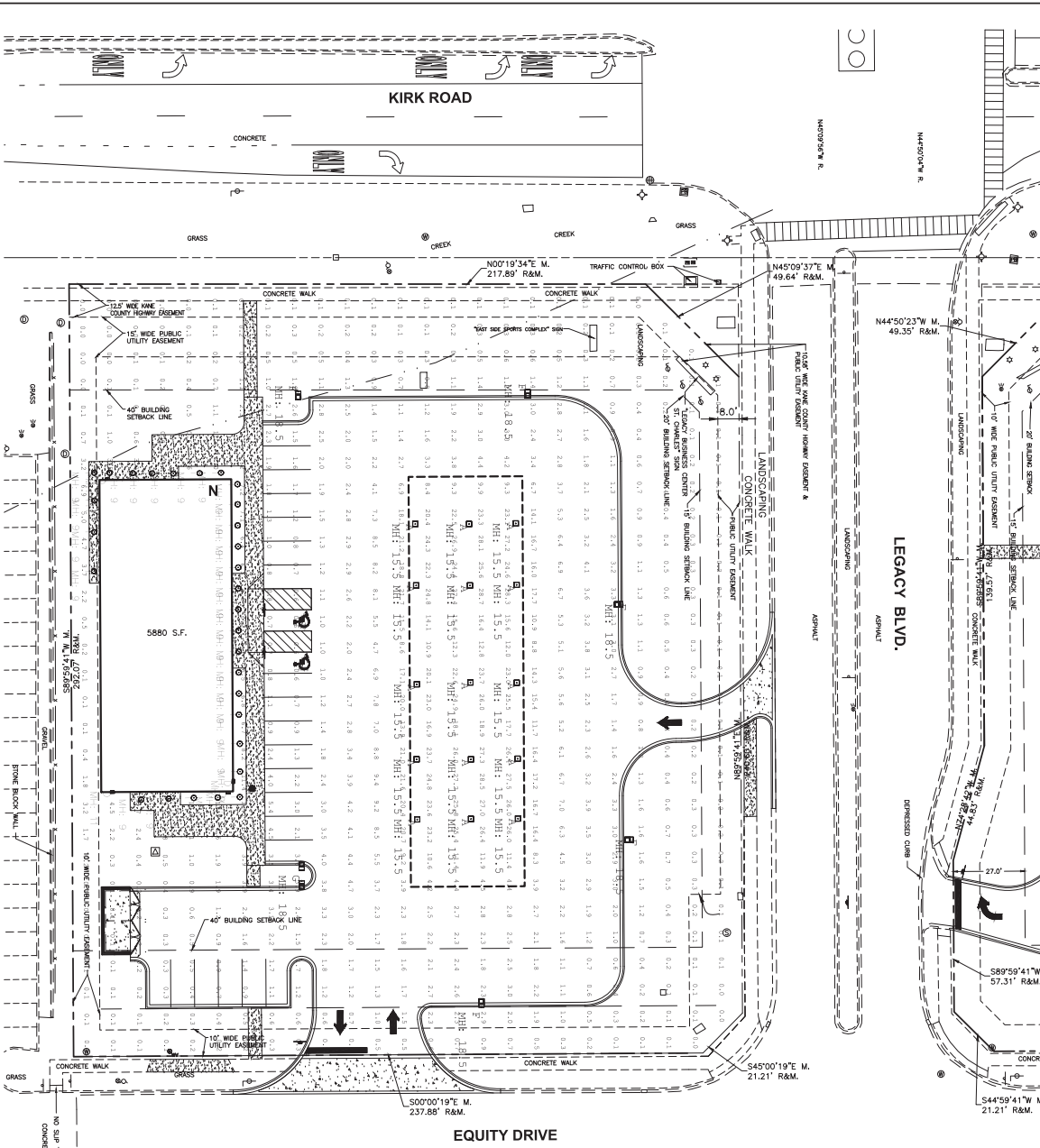
No.	DATE	REVISION	
PROJECT No: 077621			
DATE 12/28/18			
DES. BY DR.			
CHKD. BY JC			
DATE 05/15/19			
REF. PJD COMMENTS #2			
DATE 03/08/19			
ISSUED FOR PERMIT REVIEW			
DATE 11/09/17			
ISSUED FOR PUD SUBMITAL			

1816 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
WOODBERT
 CONSTRUCTION MANAGEMENT
 830.424.9380
 FAX: 630.953.3731

**SITE IMPROVEMENT PLANS
 EAST SIDE RETAIL CENTER**
 MURK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

DETAILS

SHEET NO. **C603**



Fixture Name	Quantity	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
001	1	1	1	1	1	1	1
002	1	1	1	1	1	1	1

Fixture Name	Quantity	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
003	1	1	1	1	1	1	1
004	1	1	1	1	1	1	1

LED CANOPY LIGHT - LEGACY™ (CRUS)

US 1 & 1/2" Square Panel

LED - Standard System
 LED - Low profile, durable die-cast aluminum construction, providing a reliable weather-tight seal.
 LED - Features an array of sealed, mid-power, high brightness, high efficiency LED chips, 5000K color temperature, T5 CR beam.
 DRIVE CURRENT - Choice of Very Low Voltage (VLV), Low Voltage (LV), Super Saver (SS), High Output (HO) or High Output (HO2).
OPTICS - DISTRIBUTION - Choice of Symmetrical or Asymmetrical, which directs light through a clear tempered glass lens, providing a uniform distribution of light to vertical and horizontal surfaces.
OPTICAL SHIELD - Features an obstruction IPF profile that housing with a hot glass lens. Lens is water-resistant, sealed to an IP65 rating. Integral designed heat sink does not trap heat and glare, ensuring cool running performance over the life of the fixture.
PRESSURE EQUALIZING VEIL - Lenses are securely incorporated a pressure stabilizing vent bracket to prevent seal fatigue on all units.
HAZARDOUS LOCATION - Designed for lighter than air hot applications. Product is suitable for Class I, Division 2 only when properly installed per ULB installation instructions (consult factory).
DRIVER - State-of-the-art electronic superior energy efficiency and optimum light output. Driver components are fully enclosed in cooling for maximum resistance. Complies with FCC and IEC standards. 0-10 V dimming supplied standard with all drive currents.
DRIVER HOUSING - The cast aluminum, air circulation rated driver housing enclosure is standard above canopy deck to protect driver electronics from "back-out" conduction of primary wiring and contribute to attaining the lowest operating temperature available. Built in optical housing on the driver module isolates panels.
OPERATING TEMPERATURE - -40°C to 50°C (-40°F to +122°F)
ELECTRICAL - Universal voltage power supply, 120/277 VAC, 50/60 Hz input. Drivers feature heritage surge protection (providing superior surge protection built into electronic driver) meets IEEE C62.41-2.02, IEEE 62, IEEE 1, Location Category C.
FINISH - Standard color is white and is treated with UV 99 DurGuard™ powder powder coat process. Standing withstands extreme weather change without cracking or peeling.
INSTALLATION - One person installation. In additional sealed required. Install in a 12" x 10" deck pan. Check penetration control of a 4" hole, simplifying installation and water weeding. Unit is designed to quickly verify this ending. Suitable for 4" hole as well as openings for Egress and Egress Two Alarm and to mounted wiring for the SECURITY without having to relocate the conduit. Wire panels are available for mounting Egress (see back page) as well as for manual and 2nd installation (see separate spec sheets). Support brackets are provided standard, to prevent sagging of unit.
SHIPPING WEIGHT - 27 pounds (single pack), 48 pounds (double pack).
EXPECTED LIFE - Minimum 100,000 to 100,000 hours depending upon the ambient temperature of the installation location. See ULB web site for specific guidance.
WARRANTY - Limited 5-year warranty.
LISTING - UL, and ETL, listed to UL 1598, E 8750 and other U.S. and International safety standards. Suitable for wet locations.
PHOTOMETRICS - Please visit our web site at www.led-industries.com for detailed photometric data.
 This product, or product variants of this product, meet the standards listed below:

LED LIGHTING FACTS
 Selection of Energy Star certified representative product list data and results in accordance with its Lighting Facts Program. Visit www.lightingfacts.com for specific lighting strip.

Consult Factory
 Class 1, Division 2 - Available on LV and SS
 T5 Temperature Classification - The surface temperature of this product will not rise above 100°C, within a 40°C ambient.
 Gas Groups A,B,C, and D - Group A: Acetylene / Group B: Hydrogen / Group C: Propane and Ethylene / Group D: Benzene, Butane, Methane & Propane.

Product Name: _____
 Catalog # _____

0 20 40 60
 GRAPHIC SCALE IN FEET

REVISION	No.	DATE	DESCRIPTION
	1	03/27/19	FEED PWD COMMENTS

PROJECT No.: 077621
DATE: 12/28/18
DES. BY: JH
DR. BY: JH
CKD. BY: JC

1816 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 630.424.5080
 FAX: 630.495.3731

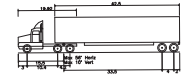
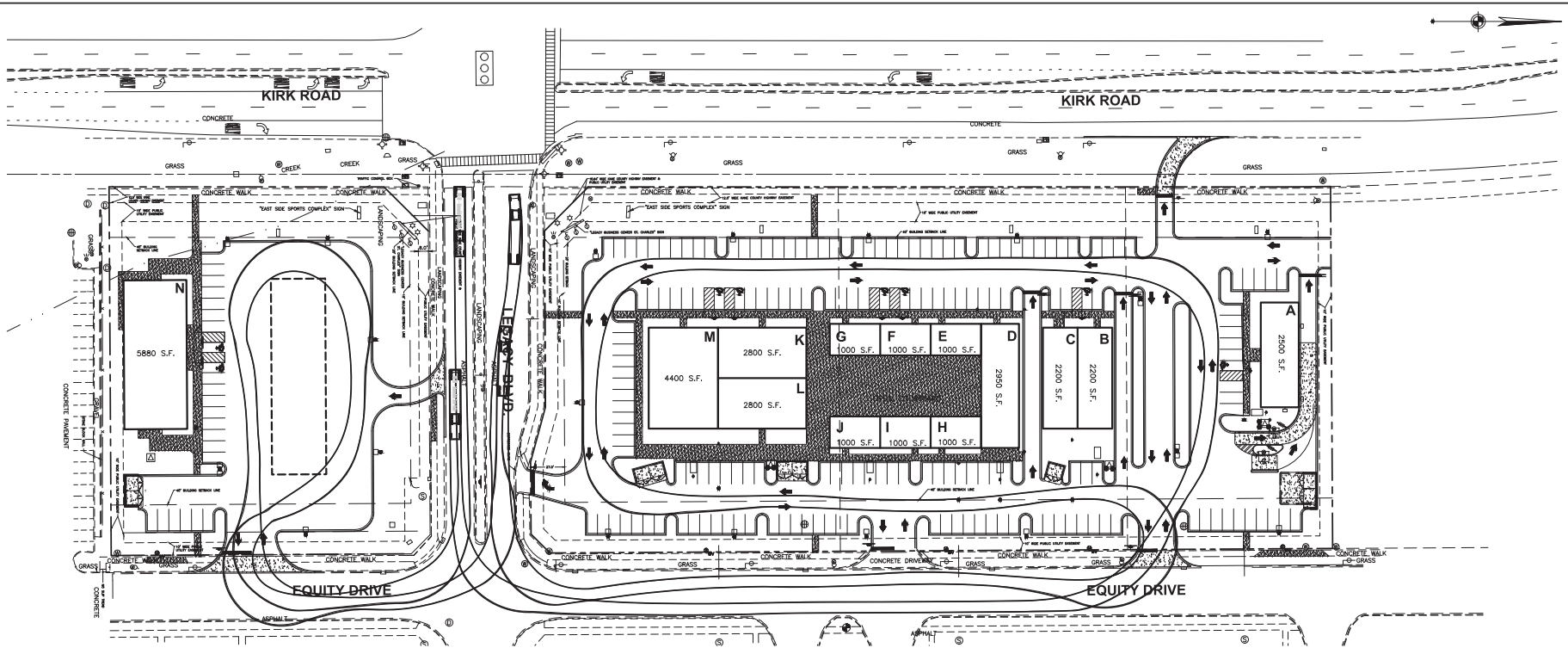
WOODBERT
 ARCHITECTS

SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

PHOTOMETRIC PLAN - SOUTH

SHEET NO. **C700**

Layout Tab Name: EXH 1 TRUCK TURNING EXHIBIT, images: .xrefs: 077821-P.dwg; 077821-K.dwg; 077821-X.dwg; 077821-X-DIGITIZED.dwg
 Last Saved By: ByronHartfield, 4/25/2019 11:33:14 AM
 C:\E:\Clients\Projx_Construction_Group\077821_Kirk_Road_Retail - St. Charles, IL\4-D_Design\Civil\Shop\CA\077821-EXH1-TRUCK.dwg Plotted By: ByronHartfield, Thomas PlotDate: May 14, 2019, 4:59:58 PM



WE-50 - Intermediate Semi-Trailer
 Overall length 55.000ft
 Overall width 8.500ft
 Overall body height 8.500ft
 Max. Body Ground Clearance 10.000ft
 Max. Track Width 6.000ft
 Lock-to-lock time 10.000sec
 Curb to Curb Turning Radius 45.000ft



PROJECT No:	DATE	REVISION
077621		
DATE 12/28/18		
DES. BY		
DR. BY		
CKD. BY		
1	03/08/19	ISSUED FOR PERMIT REVIEW
2	11/09/17	ISSUED FOR PUD SUBMITTAL

1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 800.424.9880
 FAX: 630.495.3721



SITE IMPROVEMENT PLANS
EAST SIDE RETAIL CENTER
 KIRK ROAD AND LEGACY BOULEVARD
 ST. CHARLES, ILLINOIS

TRUCK TURNING EXHIBIT

SHEET NO.

EXH 1







Excerpts from Legacy PUD Ordinance 2006-Z-3

Legacy Business Center PUD
Exhibit III
Page 2

The following additional principal retail and service uses are permitted only within Outlots 1,2,3 and 4 as shown on Exhibit VI, and the total area occupied by such uses shall not exceed ten (10) acres:

Bakery
Barbershop, hair salon, and/or nail salon
Books and periodical store
Brokerage Office
Business and professional offices
Computer and data processing centers
Convenience store
Currency exchange
Day care centers and preschools
Delicatessen
Drive-through facility (no more than 3)
Drugs and cosmetics store
Dry cleaners
Education facilities and classrooms for business & professional schools
Electronics store
Financial institution (No more than 1)
Florist shop (may include accessory temporary outdoor storage)
Food store
Gift shop
Hardware store
Health or fitness clubs
Locksmith shop
Office supply and art store
Optical sales and service
Photocopying and retail printing services
Photography studio and store
Picture framing shop
Restaurant carry-out
Restaurant, coffee or tea house, (may include accessory outdoor dining)
Restaurant, sit-down, (may include accessory outdoor dining)

**Exhibit IV
Development Standards**

A. Minimum Building and Parking Setbacks for Lots 1 through 16:

Front Yard:	25 feet
Side Yard:	2 feet
Rear Yard:	2 feet
From Kirk Road:	40 feet

Minimum Building and Parking Setbacks for Outlots 1 through 4:

From Kirk Road:	40 feet
From Collector Street:	15 feet
From Local Street:	25 feet
From Internal lot line:	5 feet

B. Maximum Floor Area Ratio:

The maximum floor area ratio within the North Parcel as a whole shall be 0.30
The floor area of any building containing a retail or service use permitted on Outlots 1,2,3 and 4 shall not exceed 12,000 sq. ft.

C. Lot Area and Depth:

There shall be no minimum lot area or minimum lot depth required within the North Parcel.

D. Building Height:

The maximum building height shall be 35 feet.

E. Outside Storage:

Except for parking and loading facilities, all accessory outside storage shall be screened from view from adjoining property and from public streets, and shall not be located within a required yard or setback adjoining a public street.

**Exhibit V
 SIGNS**

Two Type I freestanding signs (as described below) identifying the Park District facilities located east of the Subject Realty may be located within the North Parcel, and when so located shall not be considered to be off-site or advertising signs.

The design of all freestanding signs shall generally conform with the Sign Plan which is part of the approved PUD Preliminary Plan. Where signs are to be located on a wall of a multi-tenant retail or service building, they shall be located at a generally uniform height on the building wall and shall not cover or overhang any architectural feature.

The following signs are permitted within the North Parcel of the Subject Realty:

1. **Wall Signs:** Wall signs are permitted on any side of a building, and there shall be no restriction on the color of any wall signs.

Maximum number	No limitation
Maximum sign area	Square feet equal to 1 ½ times the horizontal length of the wall on which the sign is located

2. **Freestanding Signs:**

The anticipated location of the freestanding signs is shown on the PUD Preliminary Site Plan, but any freestanding signs may be relocated without amending the PUD Preliminary Plan if their locations conform with the setback requirements.

Type I: (Monument)

Maximum number	One per lot
Maximum height	10 feet above grade of adjoining street curb (or pavement edge if no curb exists)
Maximum area	30 square feet per sign face (not including any structural elements or architectural features lying outside the display area of the sign.)
Setbacks	10 feet from right of way

Type II: Entry Sign

Maximum number	Two for the entire North Parcel of the Subject Realty
Maximum height	10 ft.
Maximum area	100 sq. ft.
Setbacks	10 feet from Kirk Road right-of-way

Exhibit VII
Architectural Guidelines for Retail and Service Buildings on Outlots 1,2,3 and 4

A. *Articulation of Building Facades*

Intent: To reduce the apparent bulk of buildings and relate them to a human scale.

1. Building walls that are visually prominent as viewed from any public street, or from an internal circulation road that provides access to two or more buildings, should conform with the following standards:
 - a. Walls that are over one-hundred (100) feet in length should incorporate offsets, projections or recesses a minimum of three (3) feet in depth, extending over twenty percent (20%) of the façade, as measured in square feet of wall area.
 - b. Architectural features such as arcades, arbors, windows, doors, entryways, awnings, pilasters, cornices, decorative banding, and other decorative features should comprise at least fifty percent (50%) of visually prominent building walls, as measured in square feet of wall area.
2. All building walls that face the street should have at least two (2) of the following architectural features to avoid the appearance of blank walls facing the street:
 - i. change in wall plane of at least two (2) feet,
 - ii. change in wall texture or masonry patterns,
 - iii. transparent windows,
 - iv. columns or pilasters.
3. Building entryways and pedestrian routes should offer protection from weather such as overhangs, awnings, canopies, etc.
4. Building design should include features to add identity and architectural interest such as projecting cornices, medallions, lighting fixtures, art work, belt courses of a different color or texture, pilasters, etc.
5. Predominant façade colors should be subtle, neutral or earth-tones. Primary colors, high-intensity colors, metallic or fluorescent colors, and black are prohibited as predominant façade colors. Building trim and accent areas may be brighter and include primary colors.

B. Windows and Transparency

Intent: Allow people outside commercial buildings to see activity within, and allow people inside to see activity and weather conditions outside.

1. Windows should be provided on any wall facing a public street or parking lot accessory to the building so that the first floor is transparent from a height of eighteen (18) inches to a minimum of seven (7) feet above the walkway grade for no less than sixty percent (60%) of the horizontal length of the facade, and should include a public entrance. Windows shall be clear glass (no tinted or reflective glass), recessed or projected in the wall plane to create shadow and visual interest, and should include visually prominent sills or other appropriate forms of framing. Awnings, pilasters or columns may be used to accentuate window openings and add interest to the design of the building.
2. Development of the outlots should help define and enhance the character of the public street frontage by placing outlot buildings near the street with showcase windows and architectural features oriented toward the street as well as to the interior parking lot.

C. Building Entrances and Pedestrian Walkways

Intent: People should be able to tell where building entrances are located, and walking into the building should be a pleasant experience.

1. Buildings should have a public entrance on a façade that faces a public street or private drive that provides primary access.
2. All public entrances should be articulated from the building mass. Examples of such articulation include: canopies or porticos, overhangs, arcades, raised corniced parapets over the door, peaked roof forms, arches, outdoor patio or seating areas, display windows, details such as tile work and moldings integrated into the building design, and integral planters or wing walls that include landscaping or seating.
3. Facades which abut parking areas and contain a public entrance should provide pedestrian walkways and foundation landscape areas parallel to the foundation not less than six (6) feet in width. Sidewalks in this area should have a minimum width of six (6) feet.
4. Pedestrian routes to building entrances should be marked with pavers, striping, or delineated by the design and location of landscape features.

D. Roof Design

Intent: Roofs should be designed to add visual interest to the building, to conceal necessary service equipment, and to establish the building's identity.

1. Roof lines should either be varied with a change in height or the incorporation of a major focal point feature, such as a dormer, gable or projected wall feature, for a minimum of every one-hundred (100) linear feet in building length.
2. Exposed roof materials shall be similar to, or an architectural equivalent of asphalt or fiberglass shingle, wooden shingle, standing seam metal roof or better. The roof of any building may be flat.
3. Parapets should feature three-dimensional cornices or other shadow-creating detail elements along their tops.
4. Mansard roof designs are discouraged.
5. "Green roof" designs are encouraged.
6. Pipe stacks and similar appurtenances that are required by code and cannot reasonably be hidden should be concealed as much as possible by location and coloring.

E. Building Wall Materials

Intent: Buildings should be constructed of quality materials that reduce maintenance costs over the life of the building, relate to traditional building materials used historically in Kane County, and reinforce the character of the community. Approved and prohibited building materials are:

1. Approved Materials
 - a. Brick
 - b. Wood
 - c. Native or architectural cast stone
 - d. Tinted and/or textured concrete masonry units
 - e. Cement based Stucco
 - f. Tilt-up concrete panels designed with an architectural pattern or a brick veneer are permitted; plain concrete panels are prohibited
2. Prohibited Materials
 - a. Smooth-faced, untinted concrete masonry units

- b. Exterior Insulation Finish Systems on the ground floor
- c. Vinyl
- d. Plain tilt-up concrete panels

F. Screening of Mechanical Equipment

As viewed from ground levels at a variety of locations, all mechanical equipment located on the roof or around the perimeter of a structure shall be screened by a raised parapet or with a structure comparable and compatible with the exterior building materials.

- a) A raised parapet or other architectural feature that is an integral part(s) of the building may be required as screening for rooftop mechanical equipment or to soften rooftop views.
- b) Screening for rooftop mechanical equipment shall incorporate similar architectural features of the building and/or be constructed of a material and color compatible with other elements of the building.
- c) Incidental rooftop equipment deemed unnecessary to be screened by the Director of Community Development or a designee shall be of color to match the roof or the sky, whichever is more effective.
- d) Equipment used for mechanical, processing, bulk storage tanks, or equipment used for suppressing noise, odors, and the like that protrudes from a side of a building or is located on the ground adjacent to a building shall be screened from public view as much as practical with materials matching the design of the building. Where miscellaneous exterior equipment cannot be fully screened with matching building materials, landscaping may be used as additional screening.

G. Colors

Garish or bright accent colors (i.e., orange, bright yellow, or fluorescent colors) on any portion of the building such as trim, banding or patterns on walls, cloth or metal awnings, entryway features shall be minimized, but in no case shall such coloring exceed 10% of each wall area.

H. Compatibility within the Development

The buildings to be developed within Outlots 1,2,3 and 4 of the North Parcel of the Subject Realty shall be compatible and harmonious with each other in their exterior architectural design features. Compatibility of architectural design features may be achieved by similarity of some design elements, while allowing dissimilarity of others. Buildings shall be considered compatible if at least three of the following five design elements are similar, as determined by the City Council,:

- a. Type of materials (brick, stone, wood, metal, etc.)
- b. Colors and textures of exterior surfaces
- c. Architectural scale (size and height of buildings, both actual and perceived)
- d. Placement and rhythm of doors, windows, wall planes, visible wall joints, and visible roof elements
- e. Architectural style (examples of architectural style include reference to recognized historic or modern architectural styles, repetitive use of particular shapes, angles, features such as cornices, type of roof, etc.)

I. Refuse enclosures

Refuse enclosures should be made of the same building materials as the building they are to serve, and should be gated.

EXHIBIT VIII
Site Lighting Requirements

1. All exterior lighting shall be designed, shielded and directed so that light from the lamp (point light source) is not directly visible from other properties or public rights-of-way. This can be accomplished using luminaries which a) by their design, direct the light downward; b) have opaque shielding installed that prevents direct illumination from reaching adjacent properties or public rights of way; or c) utilize a translucent material to diffuse the light. No exterior lighting shall be maintained on a lot so as to shine into, or upon, any other lot or any right of way with an intensity great enough to reduce a viewer's ability to see, or to cause momentary blindness.
2. Exterior lighting shall be designed and maintained at or below an average of 0.5 foot-candles, as measured horizontally at the property line.
3. Interference with Traffic Safety

The following are specifically prohibited:
 - a. Exterior lighting used in a manner that could interfere with the safe movement of motor vehicles on public streets and alleys.
 - b. Any light that could be confused with, or construed as, a traffic control device, unless authorized by State, Federal, City or County government.
4. Uniformity

The uniformity ratio of exterior lighting for all property other than one and two family dwellings and townhomes, as defined by the Illuminating Engineering Society of North America (IESNA), shall be 4:1.
5. Uplighting and Architectural Lighting

Uplighting and architectural lighting is permitted to light a building façade, walkway, driveway, landscaping, sign or primary entrance, provided that all direct illumination from uplighting shall be directed onto the building wall, walkway, driveway, landscaping, sign or entrance it is intended to illuminate. Illumination to highlight architectural features may include lines of low-intensity unshielded incandescent bulbs of a single color, or neon tube type lighting, but only where such lighting is consistent with and will enhance the architectural character of the building and does

not constitute part of a sign, trademark, or other advertising display.

6. Building Mounted Luminaires

- a. Luminaires mounted on buildings shall be a non-adjustable full cut-off design and shall be directed downward at an angle of no greater than 45 degrees from the vertical plane. No luminaire mounted on a building shall project above the height of the building.
- b. No luminaire mounted on a building shall project above the height of the building.

7. Canopy Lighting

Luminaires mounted drive-through canopies shall be a full cut-off design and shall be directed downward at an angle of no greater than 45 degrees from the vertical plane, or may be completely recessed under the canopy with flat lenses. Light intensity shall not exceed twenty (20) foot candles at ground level under the canopy or elsewhere on the site. All lighting mounted under the canopy, shall be included in the twenty (20) foot candle limit.

If necessary due to the design of the luminaires selected, the sides (fascia) of the canopy shall extend below the lens of the luminaires at least 12 inches to block direct view of the light sources from the property line.

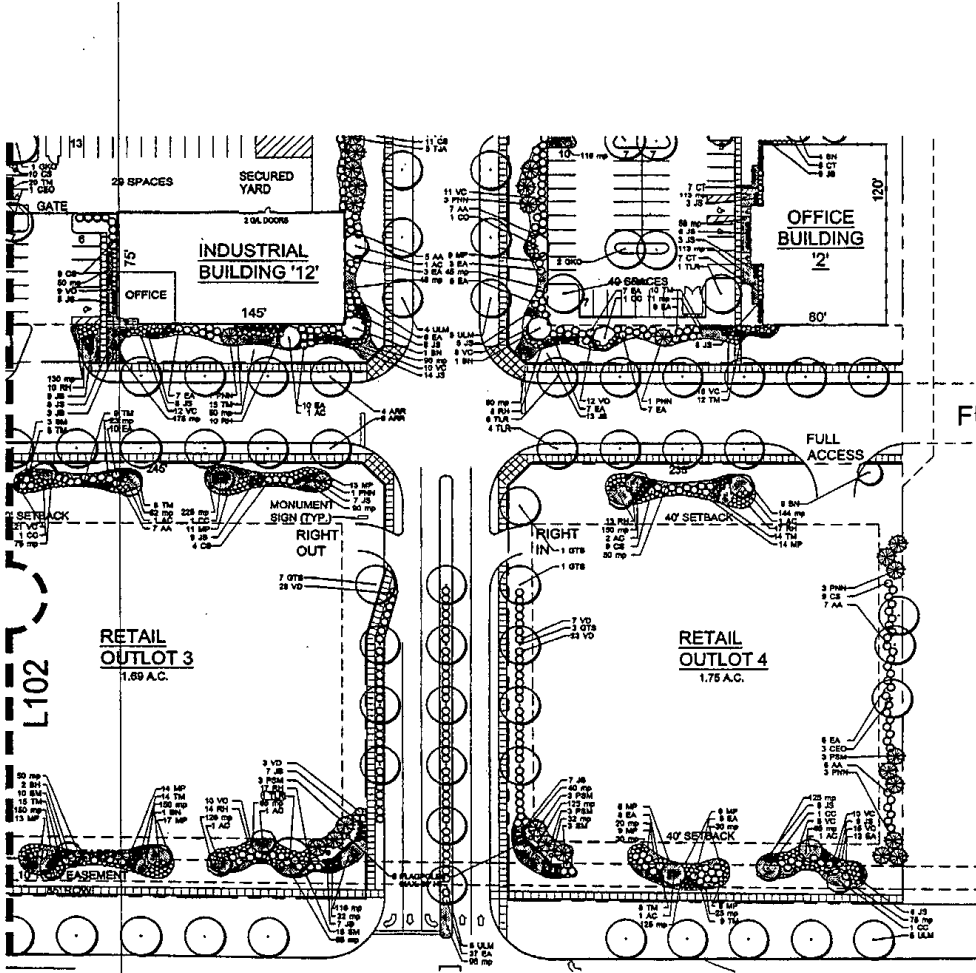
8. Light Pole Height

The maximum height of light poles, as measured from finished grade at the base to the bottom of the luminaire, shall not exceed the maximum building height on that lot.

9. Blinking Lights

Blinking, flashing, moving, revolving, flickering, changing intensity and changing color lights shall be prohibited, except for temporary holiday displays, lighting for public safety or traffic control, or lighting required by the FAA or other governmental agency for air traffic control and warning purposes.

Landscape Plan for Retail Outlots approved in PUD Ordinance 2006-Z-3



PLANT LIST

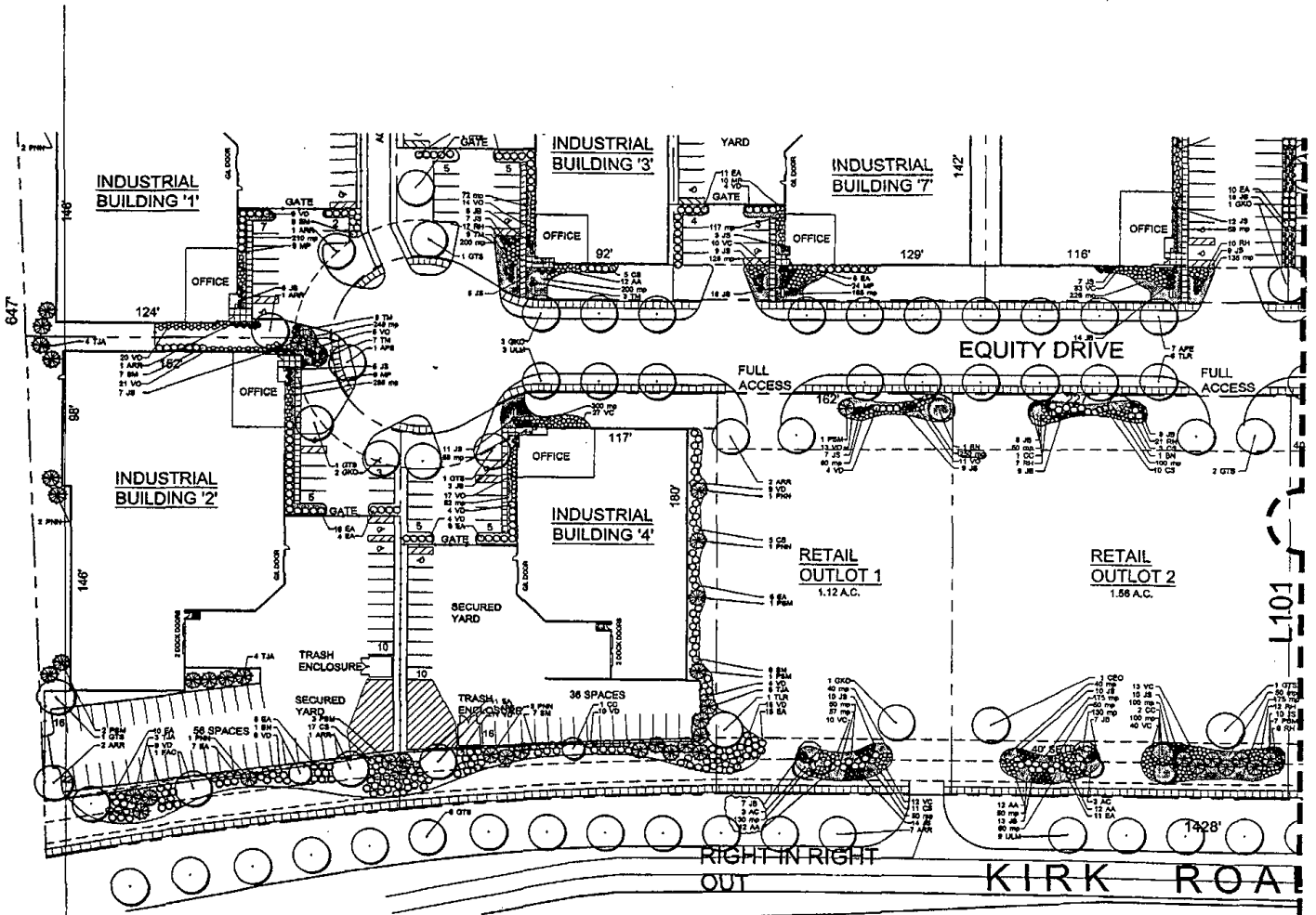
CODE	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	COMMENTS
SPACE TREES					
11	VC	11' VASE CONTAINER	AUTUMN GLAZED FRAGRANCE BLUE	12" DB	
12	VC	12' VASE CONTAINER	ROSE OF SHARON	12" DB	
13	VC	13' VASE CONTAINER	ROSE OF SHARON	12" DB	
14	VC	14' VASE CONTAINER	ROSE OF SHARON	12" DB	
15	VC	15' VASE CONTAINER	ROSE OF SHARON	12" DB	
16	VC	16' VASE CONTAINER	ROSE OF SHARON	12" DB	
17	VC	17' VASE CONTAINER	ROSE OF SHARON	12" DB	
18	VC	18' VASE CONTAINER	ROSE OF SHARON	12" DB	
19	VC	19' VASE CONTAINER	ROSE OF SHARON	12" DB	
20	VC	20' VASE CONTAINER	ROSE OF SHARON	12" DB	
ORNAMENTAL TREES					
21	VC	11' VASE CONTAINER	ROSE OF SHARON	12" DB	
22	VC	12' VASE CONTAINER	ROSE OF SHARON	12" DB	
23	VC	13' VASE CONTAINER	ROSE OF SHARON	12" DB	
24	VC	14' VASE CONTAINER	ROSE OF SHARON	12" DB	
25	VC	15' VASE CONTAINER	ROSE OF SHARON	12" DB	
26	VC	16' VASE CONTAINER	ROSE OF SHARON	12" DB	
27	VC	17' VASE CONTAINER	ROSE OF SHARON	12" DB	
28	VC	18' VASE CONTAINER	ROSE OF SHARON	12" DB	
29	VC	19' VASE CONTAINER	ROSE OF SHARON	12" DB	
30	VC	20' VASE CONTAINER	ROSE OF SHARON	12" DB	
DECIDUOUS SHRUBS					
31	VC	11' VASE CONTAINER	ROSE OF SHARON	12" DB	
32	VC	12' VASE CONTAINER	ROSE OF SHARON	12" DB	
33	VC	13' VASE CONTAINER	ROSE OF SHARON	12" DB	
34	VC	14' VASE CONTAINER	ROSE OF SHARON	12" DB	
35	VC	15' VASE CONTAINER	ROSE OF SHARON	12" DB	
36	VC	16' VASE CONTAINER	ROSE OF SHARON	12" DB	
37	VC	17' VASE CONTAINER	ROSE OF SHARON	12" DB	
38	VC	18' VASE CONTAINER	ROSE OF SHARON	12" DB	
39	VC	19' VASE CONTAINER	ROSE OF SHARON	12" DB	
40	VC	20' VASE CONTAINER	ROSE OF SHARON	12" DB	

THE LEGACY CENTER
OF ST. CHARLES
ST. CHARLES, ILLINOIS

SOUTHWEST CORNER - LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

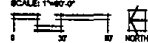
DEVELOPED BY PAUL HEMMER COMPANIES

OKW Architects
DATE: 08.08.08 PROJECT NUMBER: 08017



THE LEGACY CENTER
OF ST. CHARLES
ST. CHARLES, ILLINOIS

NORTHWEST CORNER - LANDSCAPE PLAN



DEVELOPED BY PAUL HEMMER COMPANIES



OKW Architects

DATE: 08/05/05

PROJECT NUMBER: 00017