

Community & Economic Development
 Planning Division

Phone: (630) 377-4443

Fax: (630) 377-4062



Staff Report

TO: Chairman Todd Wallace
 And the Members of the Plan Commission

FROM: Russell Colby
 Planning Division Manager

RE: First Street Redevelopment PUD – Plat of Resubdivision and Plat of Vacation for Phase 3

DATE: May 29, 2015

I. APPLICATION INFORMATION:

Project Name: First Street Redevelopment Phase 3

Applicant: City of St. Charles

Purpose: Resubdivide Phase 3 property per approved PUD Preliminary Plan.

General Information:		
Site Information		
Location	Between First St. & the Fox River, north of Illinois St.	
Application:	PUD Preliminary Plan	
Applicable City Code Sections	First St. Phase 3 Preliminary Plan approval ordinance 2015-Z-5	
Existing Conditions		
Land Use	Vacant development site & temporary parking lot	
Zoning	CBD-1 Central Business District - PUD	
Zoning Summary		
North	CBD-1 Central Business District - PUD	Vacant land (planned East Plaza & possible building site)
East	CBD-1 Central Business District	Riverwalk & Fox River
South	CBD-1 Central Business District	Fox Island Square
West	CBD-1 Central Business District - PUD	First St. Building #4- The Plaza parking deck
Comprehensive Plan Designation		
Mixed Use		

II. PROJECT OVERVIEW:

PROPERTY HISTORY/BACKGROUND

The First Street Redevelopment PUD was approved in 2006 as a five phase project spanning a 7.6 acre area of properties along First Street between Prairie St. and Main St.

Phases 1 and 2 were constructed from 2007 to 2009 (New utility and road infrastructure; Relocation of the Blue Goose store; Building 7A-BMO Harris Bank & 16 affordable rental units; Building 4-The Plaza Parking Deck; and the West Plaza/First Street Place).

Phase 3 is the riverfront property located between Main & Illinois Streets. A PUD Preliminary Plan for Phase 3 was reviewed by the Plan Commission in December 2014 and approved by the City Council in March 2015 (Ordinance #2015-Z-5).

The First Street Phase 3 project is a partnership between the City of St. Charles, the owner of the property, and First Street Development II, LLC, the developer. The City entered a Redevelopment Agreement with the developer that specifies a construction timeline and responsibilities for the completing construction of Phase 3. Construction on the project is planned to start this summer.

2015 APPROVED PRELIMINARY PLAN

The Preliminary Plan approved in March 2015 covers the portion of the site located south of the planned East Plaza and is generally located in the previously planned building footprint locations. Attached are location maps showing the building site in relation to the planned public spaces.

- Buildings: PUD Preliminary Plans were approved for Buildings #1 and #2 and the parking deck. A site plan and development data were approved for Building #3, which has not yet been designed. PUD Preliminary Plan approval will be required when the building is proposed.
- Streetscape: Streetscape improvements on First St. and Illinois St. will be similar to what has been constructed along the west side of First Street, with the same hardscape materials, planter boxes, lighting and street furniture. On-street angled parking will be provided along First St. Finalized plans for the streetscape improvements will be presented later this year based on the final building designs. Construction of the streetscape improvements is planned to occur as each building is constructed.
- Riverwalk: The area previously planned for the bi-level riverwalk remains similar to the original 2006 layout. More detailed plans will be presented later in conjunction with the architectural plans for Building #3.
- East Plaza: An area remains reserved for the planned East Plaza, located north of Building #2. Plans for the development of the remaining Phase 3 property north of the East Plaza (up to Main St.) are unknown at this time.

III. PROPOSAL

In accordance with the Redevelopment Agreement, the City of St. Charles is proposing a resubdivision of the Phase 3 site. The resubdivision is in substantial compliance with approved preliminary subdivision layout. Two documents are being presented:

1. A Plat of Vacation, to vacate a portion of the First Street right-of-way to accommodate bump outs in the western façade of Building #2.
2. A Plat of Subdivision, to create lots for each proposed building and the parking deck.

Per the Redevelopment Agreement, the building lots will be conveyed to the developer as each building is constructed, and the parking deck lot (Lot 4) and riverwalk/plaza lot (Lot 5) will remain owned by the City.

Easements

- For each building lot, in lieu of perimeter easements, a blanket utility and access easement (exclusive of building footprints) will be provided to the City. This will enable the City to access the 10 ft. corridors located between each building and the parking deck.
- An access easement over the proposed parking deck lot will be provided to the owners of the building lots to provide access to the private parking planned in the basement level of each building.

Final Engineering Plans

The City is in the process of reviewing Final Engineering Plans for the Phase 3 site.

Final Engineering Plans are reviewed and approved by staff based on conformance with the approved PUD Preliminary Plans and other City Code requirements.

IV. RECOMMENDATION

Review the Final Plat of Subdivision.

Staff has found the application materials to be complete and the Final Plat to be in compliance with the approved PUD Preliminary Plan.

Staff recommends approval of the Final Plat of Subdivision.

V. ATTACHMENTS

- Application
- Proposed Plat of Vacation and Final Plat of Subdivision
- Location/site plans for reference
- Approved PUD Preliminary Plan Ordinance 2015-Z-5

CITY OF ST. CHARLES

TWO EAST MAIN STREET
ST. CHARLES, ILLINOIS 60174-1984

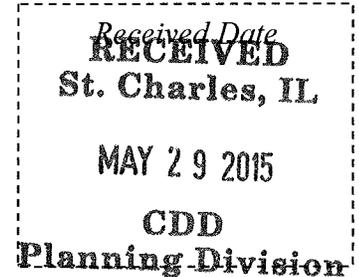


COMMUNITY & ECONOMIC DEV./PLANNING DIVISION

PHONE: (630) 377-4443 FAX: (630) 377-4062

FINAL PLAT OF SUBDIVISION APPLICATION

For City Use	
Project Name:	First Street Phase 3
Project Number:	2013 -PR- 018
Application Number:	2015 -AP- 016



To request approval of Final Plat for a Subdivision, complete this application and submit it with all required attachments to the Planning Division.

When this application is complete and the plans are substantially in compliance with requirements, the Final Plat will be placed on a Plan Commission agenda for review.

The information you provide must be complete and accurate. If you have any questions, please call the Planning Division and we will be happy to assist you.

1. Property Information:	Location: Vacant riverfront property north of Illinois St., east of S. 1st St.	
	Parcel Number (s): 09-34-127-002, -003, -004, -005, -006; 09-34-378-008, -009, -010, -011, -012	
	Proposed Subdivision Name: Resubdivision of Phase III First Street Redevelopment Subdivision	
2. Applicant Information:	Name City of St. Charles	Phone 630-377-4443
	Address 2 E. Main St. St. Charles, IL 60174	Fax 630-377-4062
		Email rcolby@stcharlesil.gov
3. Record Owner Information:	Name Same as Applicant	Phone
	Address	Fax
		Email

Please check the type of application:

Subdivision:

- Preliminary Subdivision Plat was previously approved by the City
- Combined Preliminary-Final Review Process (Preliminary Plat Application filed concurrently)



Planned Unit Development (PUD):

- PUD Preliminary Plan was previously approved by the City
- Combined Preliminary-Final Review Process (PUD Preliminary Plan Application filed concurrently)
- PUD Final Plan application filed concurrently

This application is not required for a Minor Subdivision (Per City Code Section 16.04.040: Meets all subdivision design standards, no more than 4 lots, no utility extensions or new streets, no stormwater detention required, lots meet minimum zoning standards)

Attachment Checklist:

For Combined Preliminary-Final Review or where multiple applications have been submitted concurrently, do not submit duplicate checklist items or plans. Fee must be paid for each application.

APPLICATION FEE:

Application fee in accordance with Appendix A of the Subdivision Code. (\$300)

REIMBURSEMENT OF FEES AGREEMENT:

An original, executed Reimbursement of Fees Agreement and deposit of funds in escrow with the City, as provided by Appendix B of the Zoning Ordinance.

REIMBURSEMENT OF FEES INITIAL DEPOSIT:

Deposit of funds in escrow with the City. Required deposit is based on review items (number of applications filed) and the size of the site:

Number of Review Items	Under 5 Acres	5-15 Acres	16-75 Acres	Over 75 Acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 or 3	\$2,000	\$4,000	\$5,000	\$7,000
4 or more	\$3,000	\$5,000	\$7,000	\$10,000

PROOF OF OWNERSHIP and DISCLOSURE:

Submit one of the following:

- a) A current title policy report; or
- b) A deed and a current title search.

If the owner is not the applicant, an original letter of authorization from the owner permitting the applicant to act on his/her behalf is required. If the owner or applicant is a Trust, a disclosure of all beneficiaries; if the owner or applicant is a Partnership, a disclosure of all partners; if the owner or applicant is a Corporation, a disclosure of all owners with an interest of at least ten percent (10%).

NOTE: Private covenants and deed restrictions can limit private property rights with respect to the use of land even though the City's Zoning Ordinance may authorize the use or a less restrictive use. We strongly advise that you perform a title search on the property to determine if there any private covenants containing use restrictions or other deed restrictions. As those private covenants and deed restrictions may conflict with the City's Zoning Ordinance, it is further recommended that you consult with an attorney to obtain an opinion with respect to whether your intended use is compatible with those restrictions.

□ PLANS:

All required plans shall be drawn on sheets no larger than 24" x 36", unless the Director of Community Development permits a larger size when necessary to show a more comprehensive view of the project. All required plans shall show north arrow and scale, and shall be drawn at the same scale (except that a different scale may be used to show details or specific features). All plans shall include the name of the project, developer or owner of site, person or firm preparing the plan, and the date of plan preparation and all revisions.

Copies of Plans:

Ten (10) full size copies, Three (3) 11" by 17", and a PDF electronic file (On a CD-ROM or may be emailed to the Project Manager). For subsequent submittals, please contact the Project Manager to determine how many copies are required.

□ SUBDIVISION PLAT – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the plat.

□ FINAL ENGINEERING PLANS – DRAWING REQUIREMENTS/CHECKLIST:

Complete the attached checklist and ensure that all required information is included on the Final Engineering Plans.

□ ENGINEER'S COST ESTIMATE SPREADSHEET:

See attached form.

□ STORMWATER MANAGEMENT PERMIT APPLICATION (if not already filed)

□ STORMWATER REPORT

□ FINANCIAL GUARANTEE & LAND IMPROVEMENT AGREEMENT

When submitting the application, provide a draft or description of the proposed guarantee for the payment and completion of Land Improvements (consisting of proposed form, amount and provider of completion guarantee collateral - bond, cash, or letter of credit).

- For Letter of Credit form, see City Code Title 16, Appendix C.
- For Land Improvement Agreement, see City Code Title 16, Appendix D.

A Financial Guarantee and Land Improvement Agreement must be provided prior to the City signing the Final Plat of Subdivision and recording the plat.

□ COPIES OF THIRD PARTY PERMIT/APPROVALS

- Illinois EPA Water Pollution Control Permit for sanitary sewer extension

**RESUBDIVISION OF PHASE III
FIRST STREET REDEVELOPMENT SUBDIVISION**

of

*PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST
HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH,
RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS.*

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

APPROVED THIS _____ DAY OF _____, A.D. 20____
CITY OF ST. CHARLES PLAN COMMISSION,

COMMISSION

DIRECTOR OF COMMUNITY DEVELOPMENT (or Designee) CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

_____, DO HEREBY CERTIFY
THAT THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, OR THE REQUIRED GUARANTEE BOND
HAS BEEN POSTED FOR THE COMPLETION OF ALL REQUIRED LAND IMPROVEMENTS.

DIRECTOR OF COMMUNITY DEVELOPMENT

DATED AT ST. CHARLES, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

_____, COUNTY CLERK OF KANE COUNTY,
ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID
FORFEITED TAXES AND NO REDEMPTIBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE
ANNEXED PLAT.
FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED
PLAT.

GIVEN UNDER MY HAND AND SEAL AT GENEVA, ILLINOIS

THIS _____ DAY OF _____, A.D. 20____

COUNTY CLERK

CERTIFICATE AS TO SPECIAL ASSESSMENT

STATE OF ILLINOIS)
COUNTY OF KANE) SS

I DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL
ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPOINTED
AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

COLLECTOR OF SPECIAL ASSESSMENTS

DATED AT ST. CHARLES, ILLINOIS THIS _____ DAY OF _____, A.D. 20____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

APPROVED AND ACCEPTED THIS _____ DAY OF _____, A.D. 20____

CITY COUNCIL OF THE CITY OF ST. CHARLES, ILLINOIS

MAYOR

ATTORNEY

CITY CLERK

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED BEARS THE OWNER OF THE LAND DESCRIBED IN THE
ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED
THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND
ADOPT THE SAME UNDER THE STYLE AND TITLE THEREIN INDICATED.

ALSO, THIS IS TO CERTIFY THAT PROPERTY BEING, SUBDIVIDED AFORESAID, AND TO THE BEST OF THE
OWNER'S KNOWLEDGE AND BELIEF, SAID SUBDIVISION LIES ENTIRELY WITHIN THE LIMITS OF:
ST. CHARLES COMMUNITY UNIT SCHOOL DISTRICT 303

OWNER

DATED THIS _____ DAY OF _____, A.D. 20____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KANE) SS

_____, AS NOTARY PUBLIC,

I AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT

_____, PERSONALLY KNOWN
TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS
SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY BEAR
AND BELIEVED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND
PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL.

THIS _____ DAY OF _____, A.D. 20____ AT _____
ILLINOIS

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

CERTIFICATION CONCERNING DRAINAGE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE
CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH
SURFACE WATERS DRAINAGE WILL CHANGE, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION
AND DIVERSIONS OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBDIVIDER HAS
A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH
GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO
ADJOINING PROPERTY RESULTING FROM THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____, 20____

REGISTERED PROFESSIONAL ENGINEER

OWNER OR ATTORNEY

BLANKET UTILITY AND ACCESS EASEMENT PROVISIONS:

A BLANKET UTILITY AND ACCESS EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO
THE CITY OF ST. CHARLES AND ITS FRANCHISEES, OVER LOT 1, LOT 2 AND LOT 3 AND
FOR ALL AREAS HEREIN PLATTED AND DESIGNATED AS "BLANKET UTILITY AND ACCESS
EASEMENT", "BLANKET" (OR SIMILAR DESIGNATION), TO CONSTRUCT, INSTALL, RECONSTRUCT,
REPAIR, REMOVE, REPLACE, RESPECT, MAINTAIN AND OPERATE UTILITY TRANSMISSION AND
DISTRIBUTION SYSTEMS AND LINES IN, UNDER, OVER, ACROSS, ALONG AND UPON THE
SURFACE OF SAID EASEMENT, INCLUDING WITHOUT LIMITATION, WATER MAINS, STORMWATER
RUNOFF, STORM SEWERS, SANITARY SEWERS, GAS MAINS, TELEPHONE CABLES, ELECTRICAL
LINES, AND CABLE TELEVISION.

NO ENCROACHMENT OF ANY KIND SHALL BE ALLOWED WITHIN SAID EASEMENT UNLESS THE
CITY DETERMINES AND APPROVES THAT SAID ENCROACHMENT SHALL NOT INTERFERE WITH
THE PROPER FUNCTIONING OF SUCH UTILITY FACILITIES, SUCH AS NON-INTERFERING
ENCROACHMENT BY FENCES, GARDENS, SHRUBS, AND OTHER LANDSCAPING MATERIAL.

THE CITY AND ITS FRANCHISEES WITH PERMITS FROM THE CITY MAY ENTER UPON SAID
EASEMENT FOR THE USES HEREIN SET FORTH AND HAVE THE RIGHT TO CUT, TRIM OR
REMOVE ANY FENCES, TREES, SHRUBS OR OTHER PLANTS WITHIN THE AREAS DESIGNATED
"BLANKET UTILITY AND ACCESS EASEMENT", "BLANKET" (OR SIMILAR DESIGNATION), WHICH
ENCROACH ON AND INTERFERE WITH THE CONSTRUCTION, INSTALLATION, RECONSTRUCTION,
REPAIR, REMOVAL, REPLACEMENT, MAINTENANCE AND OPERATION OF THE UNDERGROUND
TRANSMISSION AND DISTRIBUTION SYSTEMS AND SUCH FACILITIES APPURTENANT THERETO.

FOLLOWING ANY WORK TO BE PERFORMED BY CITY FRANCHISEES WITH PERMITS FROM THE
CITY, IN THE EXERCISE OF THE EASEMENT RIGHTS GRANTED HEREIN, SAID ENTITIES SHALL
MAKE SURFACE RESTORATION OR REPAIRS, INCLUDING BUT NOT LIMITED TO, PAVEMENT,
FENCES, LANDSCAPING MATERIALS, LAWN OR SHRUBBERY, PROVIDED, HOWEVER, THAT
THE CITY SHALL BE OBLIGATED FOLLOWING MAINTENANCE WORK TO BACKFILL AND MOUND ANY
TRENCH CREATED SO AS TO NEARLY SUITABLE DRAINAGE TO REMOVE ALL EXCESS DEBRIS
AND SPOILS AND TO LEAVE THE MAINTENANCE AREA IN A GENERALLY CLEAN AND
WORKMANLIKE CONDITION.

SAID BLANKET UTILITY AND ACCESS EASEMENT IS HEREBY RESERVED FOR AND GRANTED
TO THE CITY OF ST. CHARLES ITS SUCCESSORS AND ASSIGNS FOR THE PURPOSE OF
INSTALLING, CONSTRUCTING, INSPECTING, OPERATING, REPAIRING, ENLARGING,
REMOVING, REPAIRING, CLEANING AND MAINTAINING ALL CONSTRUCTED IMPROVEMENTS
LOCATED ON COMMON LOT 4 AND SUCH IMPROVEMENTS AND ACCESSORIES THERETO AS
SAID CITY MAY DEEM NECESSARY, TOGETHER WITH THE RIGHT OF ACCESS FOR THE
NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OR ALL OF THE ABOVE WORK.

RECORDER'S CERTIFICATE

INSTRUMENT NO. _____

WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF KANE COUNTY,

ILLINOIS, ON THE _____ DAY OF _____, 20____

AT _____ O'CLOCK, P.M.

RECORDER OF DEEDS

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT I, PAUL N. MARCHESE, ILLINOIS PROFESSIONAL LAND
SURVEYOR NO. 035-020461, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING
DESCRIBED PROPERTY:

LOTS 2, 3, 4, 5, 11 AND 12 IN PHASE B FIRST STREET REDEVELOPMENT SUBDIVISION
OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND
THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTYFOUR,
TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN,
ALL IN KANE COUNTY, ILLINOIS.

GIVEN UNDER MY HAND AND SEAL AT ROSSELLE, ILLINOIS,
THIS 13th DAY OF MAY, A.D. 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-020461

My Current License Expires November 30, 2016

PAUL N. MARCHESE

1010 WOOD DRIVE

ROSSELLE, ILLINOIS 60172

(630) 984-0580

FILE NO. 155-14966

SPECIAL FLOOD HAZARD AREA CERTIFICATE

THIS IS TO CERTIFY THAT THE PARCELS INCLUDED IN THIS RECORD OF DEED ARE
LOCATED IN THE SPECIAL FLOOD HAZARD AREA IDENTIFIED FOR THE CITY OF ST.
CHARLES, ILLINOIS BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON
FLOOD INSURANCE RATE MAP, PANEL NO. 17089 C 0282 H DATED AUGUST 3, 2009.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 034-020461

SHEET: 1 OF 2

PLN NO.: 09-27-378-001
09-27-378-002
09-27-378-003
09-24-132-001

ADDRESS: FIRST STREET
ST. CHARLES, ILLINOIS

ORDERED BY: CITY OF ST. CHARLES

PLAT OF SUBDIVISION

Prepared By

MARCHESE AND SONS, Inc.

land - marshall - construction surveys

18 Monroe Drive
Normal, Illinois 61754

Phone: (630) 844-3440
Fax: (630) 844-3440

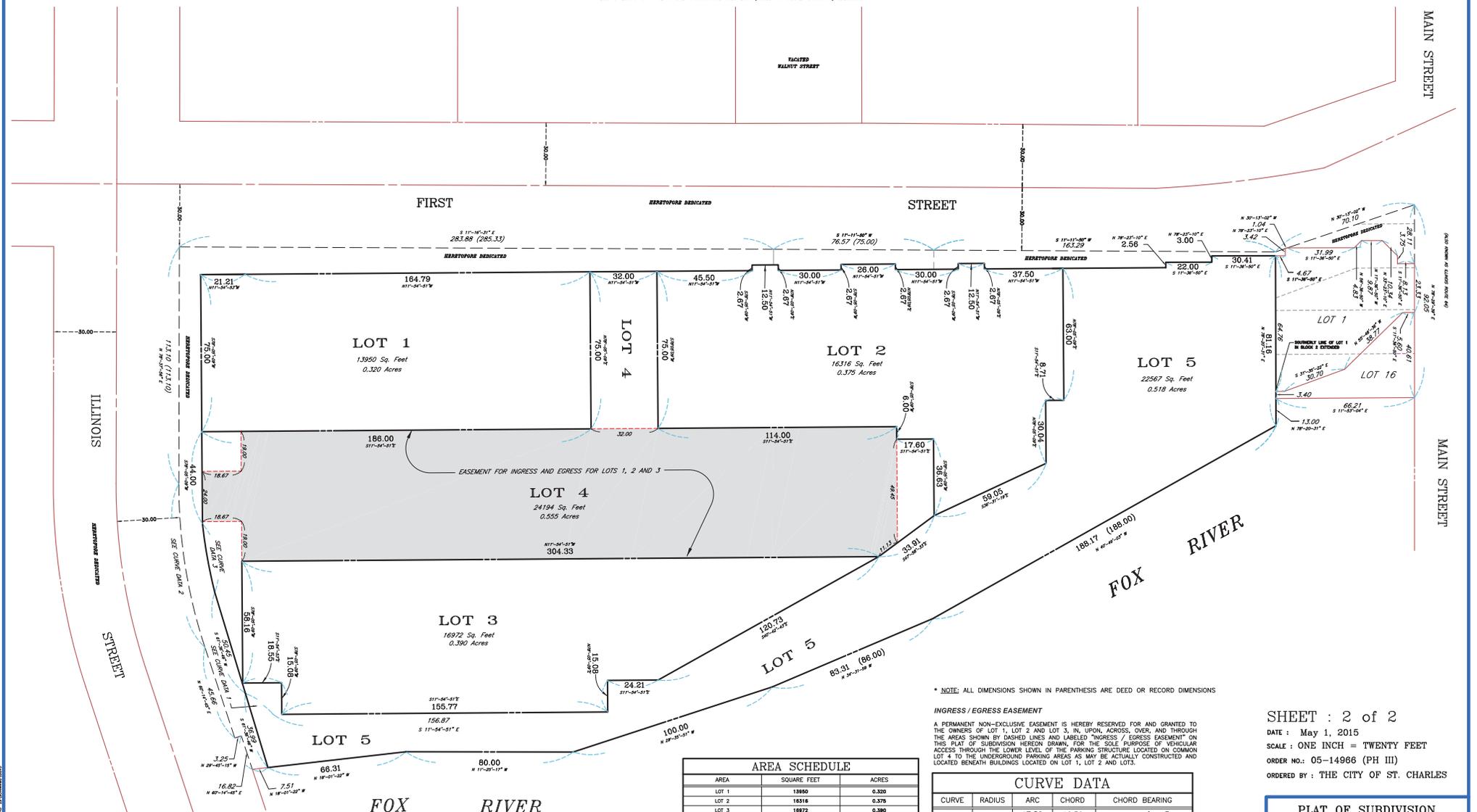
Please Return the recorded Mylar to:

City of St. Charles
2 E Main Street
St. Charles, IL 60174

RESUBDIVISION OF PHASE III FIRST STREET REDEVELOPMENT SUBDIVISION

of

PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 27 AND THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION THIRTY-FOUR, TOWNSHIP FORTY NORTH, RANGE EIGHT EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN KANE COUNTY, ILLINOIS.

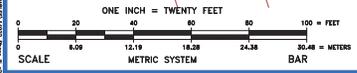


* NOTE: ALL DIMENSIONS SHOWN IN PARENTHESIS ARE DEED OR RECORD DIMENSIONS

INGRESS / EGRESS EASEMENT
A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE OWNERS OF LOT 1, LOT 2 AND LOT 3, IN, UPON, ACROSS, OVER, AND THROUGH THE AREAS SHOWN BY DASHED LINES AND LABELED "INGRESS / EGRESS EASEMENT" ON THIS PLAT OF SUBDIVISION HEREON DRAWN, FOR THE SOLE PURPOSE OF VEHICULAR ACCESS THROUGH THE LOWER LEVEL OF THE PARKING STRUCTURE LOCATED ON COMMON LOT 4 TO THE UNDERGROUND PARKING AREAS AS MAY BE ACTUALLY CONSTRUCTED AND LOCATED BENEATH BUILDINGS LOCATED ON LOT 1, LOT 2 AND LOTS.

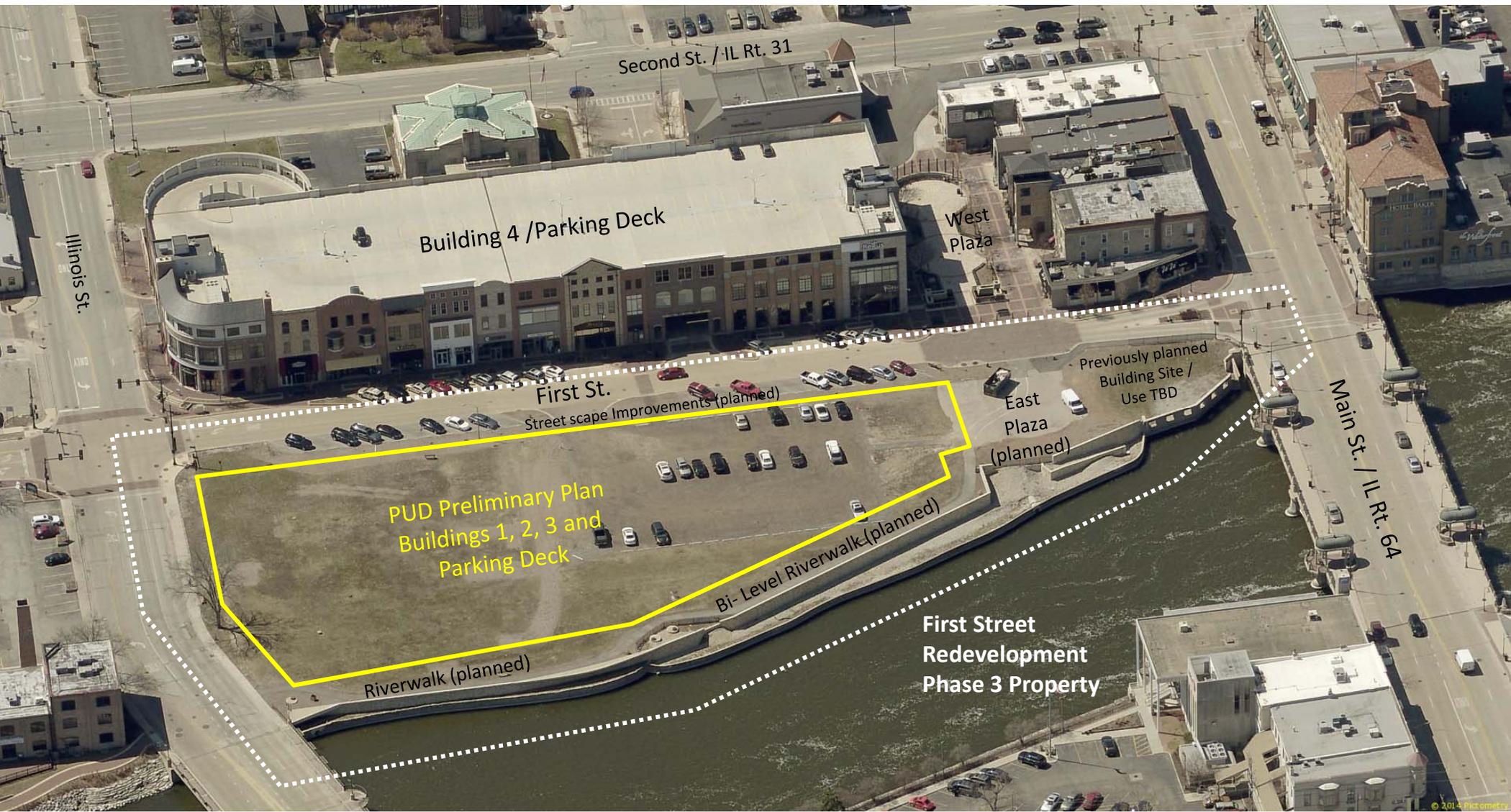
AREA SCHEDULE		
AREA	SQUARE FEET	ACRES
LOT 1	13950	0.320
LOT 2	16316	0.375
LOT 3	16972	0.390
LOT 4	24194	0.555
LOT 5	22567	0.518
TOTAL	93999	2.156
INGRESS AND EGRESS EASEMENT	18845	0.456

CURVE DATA				
CURVE	RADIUS	ARC	CHORD	CHORD BEARING
ONE	15.78	17.50	16.59	S 23°-52'-13"W
TWO	247.30	79.36	79.02	N 69°-26'-21"E
THREE	247.30	33.26	33.23	N 68°-18'-05"E



SHEET : 2 of 2
DATE : May 1, 2015
SCALE : ONE INCH = TWENTY FEET
ORDER NO.: 05-14966 (PH III)
ORDERED BY : THE CITY OF ST. CHARLES

PLAT OF SUBDIVISION
Prepared by
MARCHESE AND SONS, Inc.
land - marshes - construction surveys
18 Monroe Drive, North, Illinois 60112 Phone : (815) 884-3880 Fax : (815) 884-3889



Second St. / IL Rt. 31

Building 4 / Parking Deck

West Plaza

Illinois St.

First St.

Street scape Improvements (planned)

Previously planned Building Site / Use TBD

East Plaza (planned)

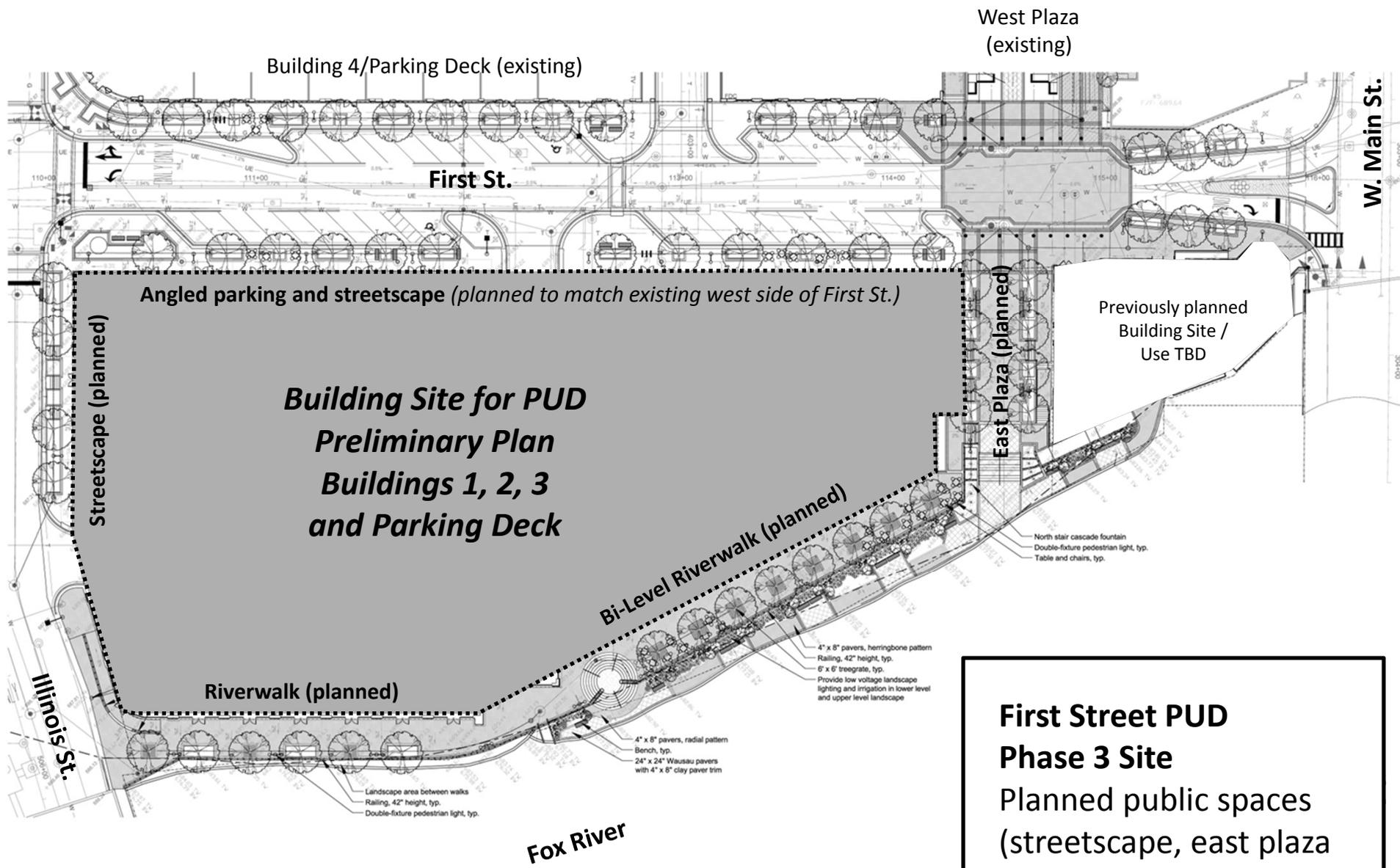
PUD Preliminary Plan Buildings 1, 2, 3 and Parking Deck

Bi-Level Riverwalk (planned)

Main St. / IL Rt. 94

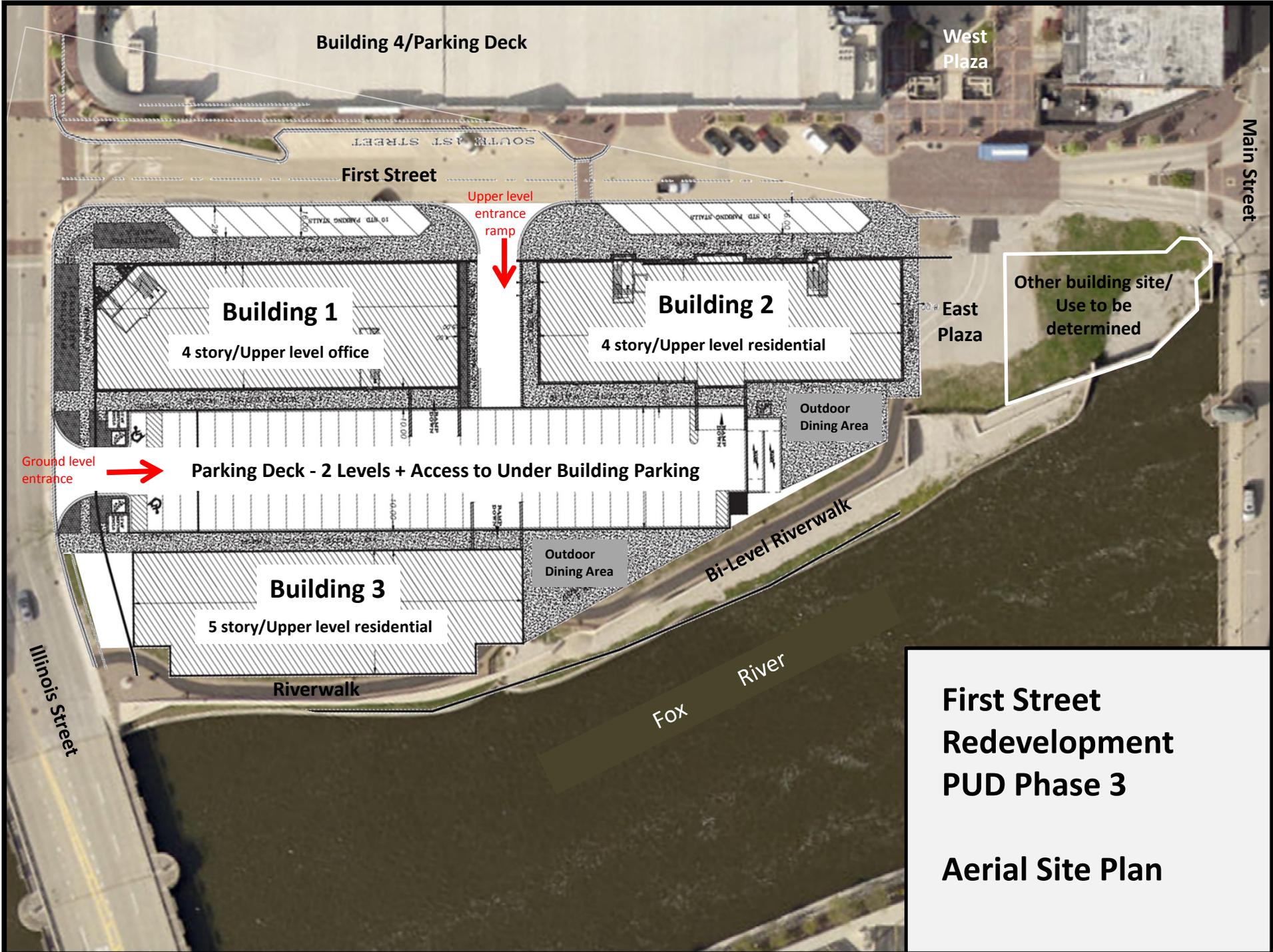
Riverwalk (planned)

First Street Redevelopment Phase 3 Property



**Building Site for PUD
Preliminary Plan
Buildings 1, 2, 3
and Parking Deck**

**First Street PUD
Phase 3 Site**
Planned public spaces
(streetscape, east plaza
and riverwalk)



Building 4/Parking Deck

West Plaza

Main Street

First Street

Upper level entrance ramp

Building 1

4 story/Upper level office

Building 2

4 story/Upper level residential

East Plaza

Other building site/
Use to be determined

Outdoor Dining Area

Ground level entrance

Parking Deck - 2 Levels + Access to Under Building Parking

Outdoor Dining Area

Bi-Level Riverwalk

Building 3

5 story/Upper level residential

Riverwalk

Fox River

Illinois Street

First Street
Redevelopment
PUD Phase 3

Aerial Site Plan

City of St. Charles, Illinois

Refer to:	3-2-2015
Minutes	
Page	

Ordinance No. 2015-Z-5

Motion to Approve an Ordinance Granting Approval of a PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD (Buildings 1, 2, 3 and Parking Deck).

**Adopted by the
City Council
of the
City of St. Charles
March 2, 2015**

**Published in pamphlet form by
authority of the City Council
of the City of St. Charles,
Kane and Du Page Counties,
Illinois, March 6, 2015**

Nancy Gamson

City Clerk



(SEAL)

City of St. Charles, Illinois
Ordinance No. 2015-Z-5_____

**An Ordinance Granting Approval of a PUD Preliminary Plan for a portion of
Phase 3 of the First Street Redevelopment PUD
(Buildings 1, 2, 3 and Parking Deck)**

WHEREAS, an application has been filed for PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD, said realty being legally described on Exhibit "A" attached hereto and incorporated herein (the "Subject Realty"); and,

WHEREAS, said application was filed with the City on or about November 3, 2014, by First Street Development II, L.L.C. ("Applicant") and authorized by the record owner of the Subject Realty, the City of St. Charles ("Record Owner"); and,

WHEREAS, the Historic Preservation Commission recommended approval of the PUD Preliminary Plan on or about November 19, 2014; and,

WHEREAS, the Plan Commission recommended approval of the PUD Preliminary Plan on or about December 16, 2014; and,

WHEREAS, the Planning & Development Committee of the City Council recommended approval of the PUD Preliminary Plan on or about February 17, 2015; and,

WHEREAS, the City Council of the City of St. Charles has received the recommendations of the Plan Commission and Planning & Development Committee and has considered the same.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ST. CHARLES, KANE AND DUPAGE COUNTIES, ILLINOIS, as follows:

1. The preambles set forth hereinabove are incorporated herein as substantive provisions of this Ordinance as though fully set out in this Section 1.

2. That passage of this Ordinance shall constitute approval of the PUD Preliminary Plan, incorporated herein as Exhibit "B", such that the following documents and illustrations are hereby approved, reduced copies of which are attached hereto, subject to satisfactory resolution of all outstanding staff review comments and compliance with such conditions, corrections, and modifications as may be required by the Director of Community & Economic Development and the Director of Public Works to comply with the requirements of the St. Charles Municipal Code:

- Development Data, dated February 27, 2015
- Specifications for the Proposed Parking Deck, dated February 27, 2015
- Preliminary Engineering Plans titled "1st Street Phase 3", prepared by County Engineers, Inc., dated January 28, 2015 and February 16, 2015

- Building Architectural Elevations for Building 1, Building 2, and the Parking Deck prepared by Marshall Architects, dated February 2, 2015.

3. Preliminary Plans shall be submitted for review by the Historic Preservation Commission and Plan Commission and approval by the City Council for the following:

- Streetscape Improvements for First and Illinois Streets.
- Building Architectural Elevations for Building #3.
- Riverwalk Improvements along the Fox River frontage.
- Plaza area north of Building #2

4. That the subject property may be developed and used only in accordance with all ordinances of the City now in effect or hereafter amended or enacted.

5. That after the adoption and approval hereof, the Ordinance shall (i) be printed or published in book or pamphlet form, published by the authority of the Council, or (ii) within thirty (30) days after the adoption and approval hereof, be published in a newspaper published in and with a general circulation within the City of St. Charles.

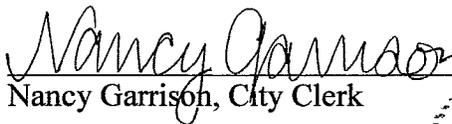
PRESENTED to the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.

PASSED by the City Council of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.

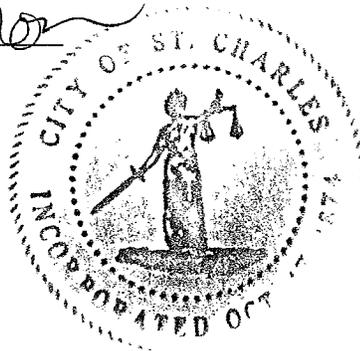
APPROVED by the Mayor of the City of St. Charles, Kane and DuPage Counties, Illinois this 2nd day of March, 2015.


 Raymond P. Rogina, Mayor

Attest:


 Nancy Garrison, City Clerk

Vote:
 Ayes:
 Nays:
 Absent:
 Abstain:
 Date: _____



APPROVED AS TO FORM:

City Attorney

DATE: _____

EXHIBIT "A"

LEGAL DESCRIPTION

Lots 3, 4, 5 11 and 12 in the Phase III First Street Redevelopment Subdivision, according to the plat thereof recorded as Document No. 2008K089916, in the City of St. Charles, Kane County, Illinois.

EXHIBIT "B"

PUD PRELIMINARY PLAN

- Development Data, dated February 27, 2015
- Specifications for the Proposed Parking Deck, dated February 27, 2015
- Preliminary Engineering Plans titled "1st Street Phase 3", prepared by County Engineers, Inc., dated January 28, 2015 and February 16, 2015
- Building Architectural Elevations for Building 1, Building 2, and the Parking Deck prepared by Marshall Architects, dated February 2, 2015.

FIRST STREET PHASE 3 DEVELOPMENT DATA
2/27/15

Building No.	Type	Floor Level	Area/Units
Building 1	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,865 sf
	Office	2 nd level	11,865 sf
	Office	3 rd level	11,865 sf
	Office	4 th level	11,865 sf
Total Building area			47,460 sf
Building 2	Parking	Basement	27 spaces
	Retail/Commercial	1 st level	11,898 sf
	Residential	2 nd level	12,000 sf
	Residential	3 rd level	12,000 sf
	Residential	4 th level	12,000 sf
Total Residential (12 Studio, 12 1-Bedroom, 12 2-Bedroom)			36 units
Total Building area			47,898 sf
Building 3	Parking	Basement	25 spaces
	Retail/Commercial	1 st level	11,966 sf
	Residential	2 nd level	11,966 sf
	Residential	3 rd level	11,966 sf
	Residential	4 th level	11,966 sf
	Residential	5 th level	11,966 sf
Total Residential (8 1-Bedroom, 16 2-Bedroom, 8 3-Bedroom)			32 units
Total Building area			59,830 sf
Parking Deck	Parking	1 st level	57 spaces
	Parking	2 nd level	53 spaces
Total Parking Count			110 spaces

SPECIFICATIONS FOR PROPOSED PARKING DECK

2/27/15

Revised 3/2/15

1. The proposed parking structure will be designed, constructed and considered as an "open air" parking structure as defined per building codes. Therefore, the following systems are not contemplated: Fire alarm, ventilation/vapor intrusion, drainage into the sanitary system/sand oil separator for the lower level of the deck, and no mechanical/electrical room is included in the plans.
2. Fire Sprinkler System: For an open deck, Installation of a dry type I standpipe system with a minimum of 2 hose stations located on each level of the parking structure. The fire department connection would be located near the Illinois St. entrance.
3. 8 feet of vertical clearance is required within the parking garages which includes the parking areas below buildings 1, 2, 3 and the open parking garage.
4. Larger double tee precast designed to accommodate the loads induced by the City's Fire Department ladder truck shall be located generally in the area approximately 62' east of the ramp from First Street and approximately 28' wide centered on the centerline of the ramp.
5. 3" concrete topping (broom finish and wet cured) over larger double tees included.
6. Control joints with sealant over each precast piece joint and the application of a silane sealer over the entire upper level surface.
7. Sealing and caulking for all precast joints is included.
8. Confirmation the proposed deck can handle anticipated snow loadings and snow removal operations as described:

It is thought that the 6-wheel dump would be backed up the ramp and parked in the middle (Area where the ladder truck was anticipated to sit) and then the other equipment would be used to push and load snow at the same time. It would be conceivable for at least the 6-wheeler, Wheel Loader and Backhoe to be up there at one time working.

Equipment	Operating Weight (lbs)	Contact Area Front (Sqi)	Contact Area Back (Sqi)	Total Contact Area (Sqi)	Ground Pressure per Contact (psi)
JD 544k Wheel Loader	28660	468	468	936.00	30.62
JD 410k Backhoe	16500	260	468	728.00	22.66
Case 410 Skid Steer (with bucket)	6200	189	189	378.00	16.40
6 Wheel Dump (Loaded w/plow)	50000	255	952	1207.00	41.43
* NOTE - Calculations based on level surface and no movement					
* * NOTE - Construction Equipment was calculated as "unloaded", Dump truck calculated as fully loaded.					

9. All conduit is rigid conduit and all fittings are rated for outdoor use.
10. Adequate light fixtures to meet required codes or industry standards including but not limited to emergency lighting, exit lighting, egress path lighting and also with respect to

lighting on the upper and lower level of the parking deck is included. Walker Parking's initial review indicated that more than 14 light fixtures on the lower level, as identified in the preliminary cost estimate from Premium Electric Services dated January 6, 2015, may be needed. All lighting fixtures to be subject to review and approval by the City. Developer has budgeted an allowance of \$28,000 for upper level fixtures. Should the City select a more expensive fixture for the upper level, the City would cover the cost difference. Photometrics to be included with Final Engineering plans prepared by the developer.

11. Lower level sump pumps (2) and back-up/alarm system is included.
12. Coverings/treatments over required openings to comply with the lower level being open air are included. Design subject to review by the City.
13. All required ramp/stair handrails, bollards, doors and door frames, flashing and trim are included.
14. Foundation: 6" perimeter drains is included.
15. Public storm sewer passing under the parking deck to be reconstructed per the Preliminary Engineering Plans.
16. Striping and directional signage
17. Future security and parking counter system to be determined jointly by developer and staff during Final Engineering.

1ST STREET PHASE 3

NORTHEAST CORNER OF 1ST STREET AND ILLINOIS STREET

ST. CHARLES, ILLINOIS

WARNING



CALL BEFORE
YOU DIG
(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

CITY OF ST. CHARLES NOTES

1. ALL PERVIOUS AREA SHALL BE SOODED OVER A MINIMUM OF 6" OF TOP SOIL UNLESS OTHER LANDSCAPING METHODS ARE APPROVED ON THE LANDSCAPING PLAN.
2. ALL CONDUIT OR PIPE CONSTRUCTED UNDER EXISTING OR PROPOSED PAVED SURFACES AND WALKS SHALL BE BACKFILLED WITH GRANULAR BACKFILL THOROUGHLY COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS. GRANULAR BACKFILL IS ALSO REQUIRED WITHIN 2' OF PAVED SURFACES.
3. ALL PAVING, SIDEWALK, AND EXCAVATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE CITY OF ST. CHARLES STANDARD DETAILS, CODES AND REQUIREMENTS.
4. ALL SEWER AND WATER MAIN WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND CITY OF ST. CHARLES CONSTRUCTION STANDARDS.
5. CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE CITY.
6. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY IN THE FIELD ALL EXISTING AND UNDERGROUND UTILITIES ADJACENT TO THE PROJECT, AND BE RESPONSIBLE FOR PROTECTION OF SAME.
8. ALL CONCRETE SHALL BE 6 BAG MIX, 3500 PSI CONCRETE AT 14 DAYS. CURING MATERIAL SHALL BE MEMBRANE CURING COMPOUND AND SHALL BE WHITE IN COLOR TO ASSURE ADEQUATE COVERAGE.
9. CONTRACTOR SHALL NOTIFY CITY 48 HOURS IN ADVANCE OF CONSTRUCTION OF UNDERGROUND WORK. NO UNDERGROUND WORK SHALL BE COVERED UNTIL SAME HAS BEEN INSPECTED BY THE CITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CITY PRIOR TO INSTALLING PAVEMENT BASE, PAVEMENT BINDER, PAVEMENT SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
10. IF APPLICABLE, ALL NEW REINFORCED CONCRETE PIPE STORM SEWER 12" AND LARGER WHERE SHOWN ON THE PLANS SHALL BE ASTM DESIGNATION C-78 MINIMUM CLASS, CLASS III. ALL PIPE WITH LESS THAN 3' OF COVER AND MORE THAN 15' OF COVER SHALL BE CLASS V. ALL JOINTS SHALL BE "O" RING RUBBER GASKET CONFORMING TO ASTM C-361 SPECIFICATIONS. ALL STORM SEWERS WITH LESS THAN 1.25' OF COVER AND ALL DUCTILE IRON PIPE STORM SEWERS WHERE SHOWN ON THE PLANS SHALL BE DUCTILE IRON PIPE CLASS 52 AND SPECIFICATIONS A-21.51 WITH PUSH-ON OR MECHANICAL JOINTS AND POLYETHYLENE ENCASEMENT.
11. BITUMINOUS PAVEMENT MATERIAL MUST BE PLACED IN TWO LIFTS. THICKNESS OF EACH LIFT SHALL BE AS SHOWN ON APPROVED PLANS. ALL MATERIAL SHALL BE CLASS I BITUMINOUS AS PER DOT STANDARDS. THE FINAL SURFACE COURSE SHALL NOT BE INSTALLED UNTIL THE CITY HAS APPROVED THE COMPACTION OF THE BINDER MATERIAL. THE BINDER COURSE SHALL NOT BE INSTALLED UNTIL THE COMPACTION OF THE STONE BASE HAS BEEN APPROVED BY THE CITY. THE FINAL SURFACE COURSE MAY NOT BE INSTALLED UNTIL THE MAJOR PORTION OF BUILDING CONSTRUCTION HAS BEEN COMPLETED AS DETERMINED AND APPROVED BY THE CITY.

NOTE: IN CASE OF CONFLICT WITH OTHER NOTES AND SPECIFICATIONS, THE CITY'S STANDARD NOTES AND DETAILS SHALL APPLY.

UNDERGROUND UTILITY NOTE:

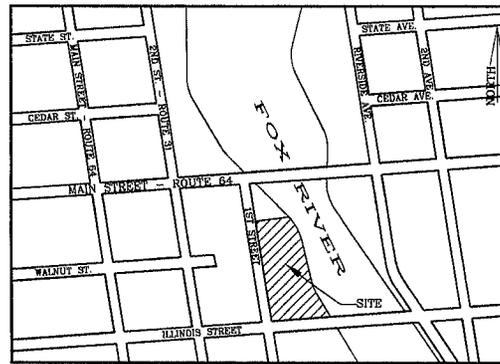
The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

USE OF DRAWINGS

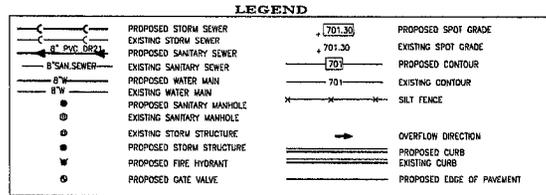
Client agrees not to use or permit any other person to use plans, drawings, or other product prepared by the Engineer, which plans, drawings, or other work product are not final and which are not signed, and stamped or sealed by the Engineer and contain the words "Released For Construction".

HOLD HARMLESS STATEMENT

The Engineer is not overseeing the construction of this project. The use of these Drawings and Specifications by and Contractor, Subcontractor, Builders, Mechanic, Tradesmen or Worker shall constitute a Hold Harmless Agreement between the User and the Engineer. The User shall in fact agree to hold the Engineer harmless for any responsibility in regard to construction means, methods, techniques, sequences or procedures and for any safety precautions and programs in connection with the work and further shall hold the Engineer harmless for costs and problems arising from the negligence of Contractor, Subcontractor, Builders, Mechanic, Tradesmen or Workers. The use of these Drawings also implies that the Engineer shall take no responsibility for the plan User's failure to carry out the work in accordance with the Drawing and Specifications.



LOCATION MAP
NOT TO SCALE



SHEET INDEX

TITLE	SHEET NO.
TITLE SHEET.....	1
TOPOGRAPHY & DEMOLITION PLAN.....	2
GEOMETRIC PLAN.....	3
BUILDING 1 INFORMATION.....	4
BUILDING 2 INFORMATION.....	5
PARKING STRUCTURE UPPER/LOWER LEVELS.....	6
GRADING PLAN.....	7
UTILITY PLAN.....	8
PLAT OF SUBDIVISION	

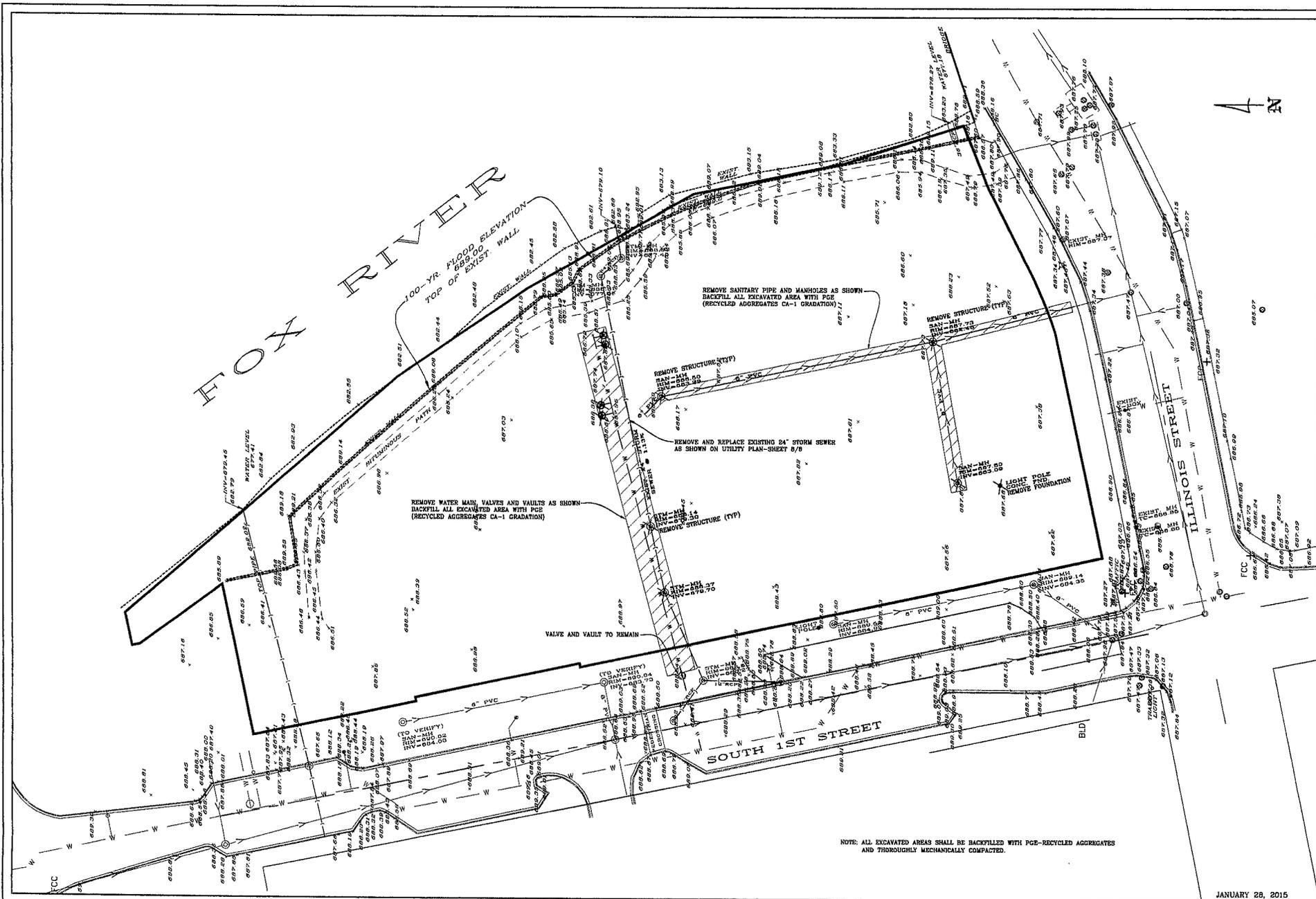
BENCHMARK:

CITY OF ST. CHARLES--
STATION N 19 ELEV=698.45 NAVD88
AT SAINT CHARLES, KANE COUNTY, IN NORTHEAST
LIMESTONE CORNER OF THE REHMS ELECTRICAL
BUILDING, 6 FEET EAST OF THE NORTH (FRONT)
ENTRANCE, AND ABOUT 1 FOOT ABOVE SIDEWALK.
A STANDARD DISC, STAMPED N 19 1934 AND SET
VERTICALLY.



BRIMDON AFARI
REGISTERED PROFESSIONAL ENGINEER
RENEWAL DATE: 11/30/15

COUNTY ENGINEERS INC.
2202 GARY LANE, GENEVA, ILLINOIS 60134
830.364.6976 ceillinois@aol.com



FOX RIVER

100-YR. FLOOD ELEVATION
TOP OF EXIST. WALL

REMOVE WATER MAIN, VALVES AND VAULTS AS SHOWN
BACKFILL ALL EXCAVATED AREA WITH PCF
(RECYCLED AGGREGATES CA-1 GRADATION)

REMOVE AND REPLACE EXISTING 24" STORM SEWER
AS SHOWN ON UTILITY PLAN-SHEET 8/8

REMOVE SANITARY PIPE AND MANHOLES AS SHOWN
BACKFILL ALL EXCAVATED AREA WITH PCF
(RECYCLED AGGREGATES CA-1 GRADATION)

REMOVE STRUCTURE (TYP)
SAN-24
12" x 12" x 12"

REMOVE STRUCTURE (TYP)
SAN-24
12" x 12" x 12"

REMOVE STRUCTURE (TYP)
SAN-24
12" x 12" x 12"

VALVE AND VAULT TO REMAIN

SOUTH 1ST STREET

ILLINOIS STREET

NOTE: ALL EXCAVATED AREAS SHALL BE BACKFILLED WITH PCF-RECYCLED AGGREGATES
AND THOROUGHLY MECHANICALLY COMPACTED.



JANUARY 28, 2015

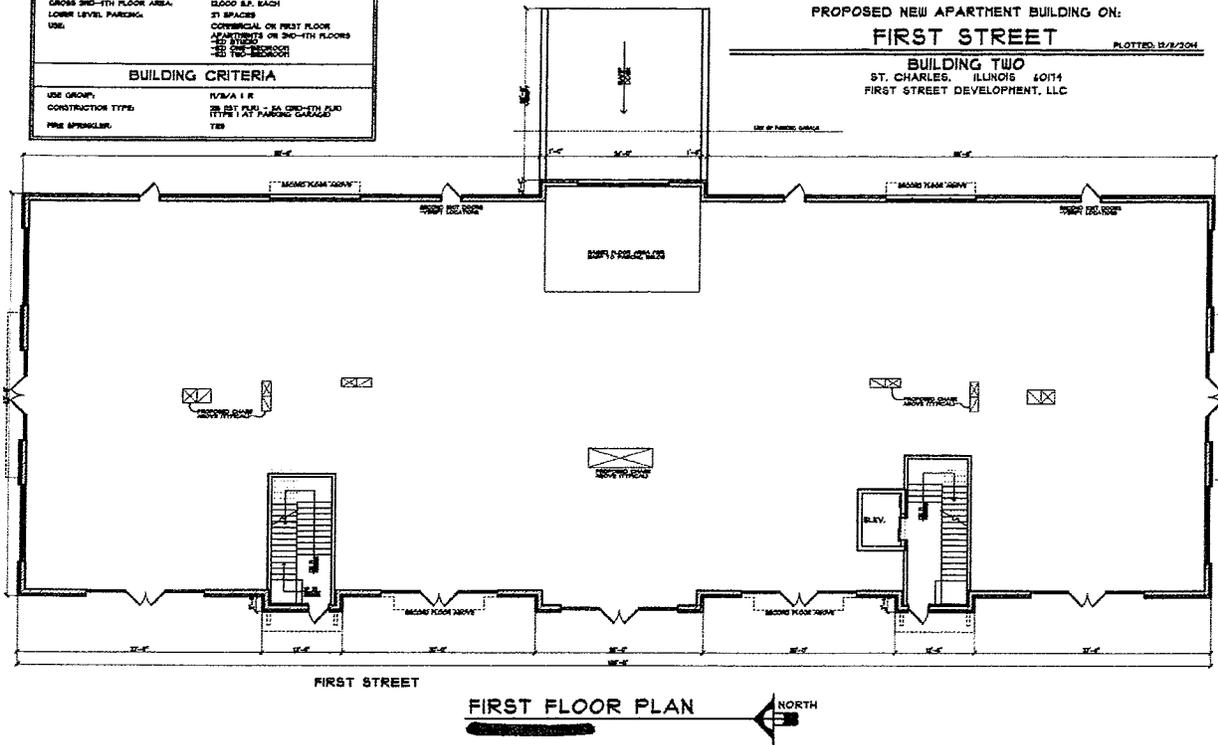
TOPOGRAPHY AND DEMOLITION		SHEET 2 OF 8	
Client	Contract No.	Date	Scale
Contractor	Project Name	Drawn By	Checked By
City	County	State	Country
Common Address		Builder/Client	Job No.
City		County	State
Country		Map/Scale	Foundation
Bk.	Pg.	Date	By

COUNTY ENGINEERS, INC.
CONSTRUCTION MANAGEMENT
200 WEST WALKER AVENUE, SUITE 101
MADISON, WI 53703

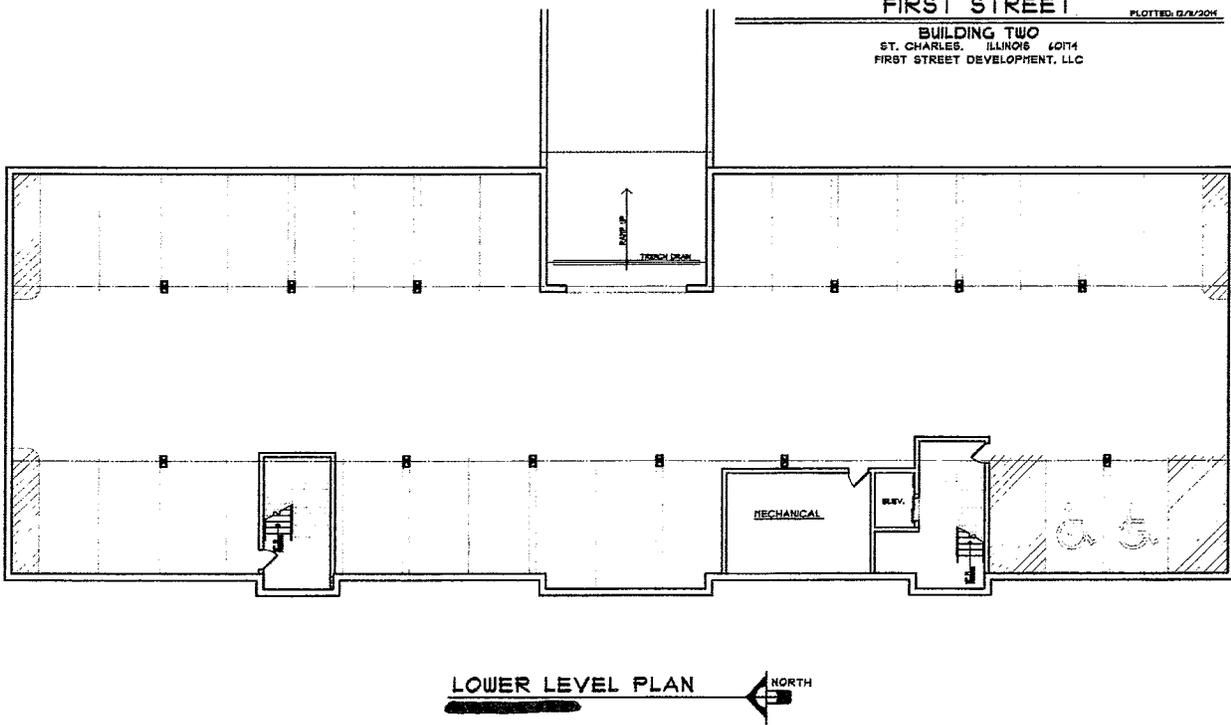
BUILDING TWO

SITE CRITERIA	
FOOTPRINT:	834 S.F.
TOTAL GROSS BUILDING AREA, INCLUDING ALL STORIES EXCEPT LOWER LEVEL GARAGE:	4104 S.F.
LOWER LEVEL GARAGE:	
GROSS FIRST FLOOR AREA:	834 S.F.
RETAIL/RENT:	1400 S.F.
GROSS 2ND-4TH FLOOR AREA:	1870 S.F.
APARTMENTS ON 2ND-4TH FLOORS:	20 UNITS
LOWER LEVEL PARKING:	21 SPACES
USE:	COMMERCIAL ON FIRST FLOOR APARTMENTS ON 2ND-4TH FLOORS
BUILDING CRITERIA	
USE GROUP:	R/3A I R
CONSTRUCTION TYPE:	2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z
FIRE SPRINKLER:	YES

PROPOSED NEW APARTMENT BUILDING ON:
FIRST STREET PLOTTED: 02/12/2014
BUILDING TWO
 ST. CHARLES, ILLINOIS 60114
 FIRST STREET DEVELOPMENT, LLC

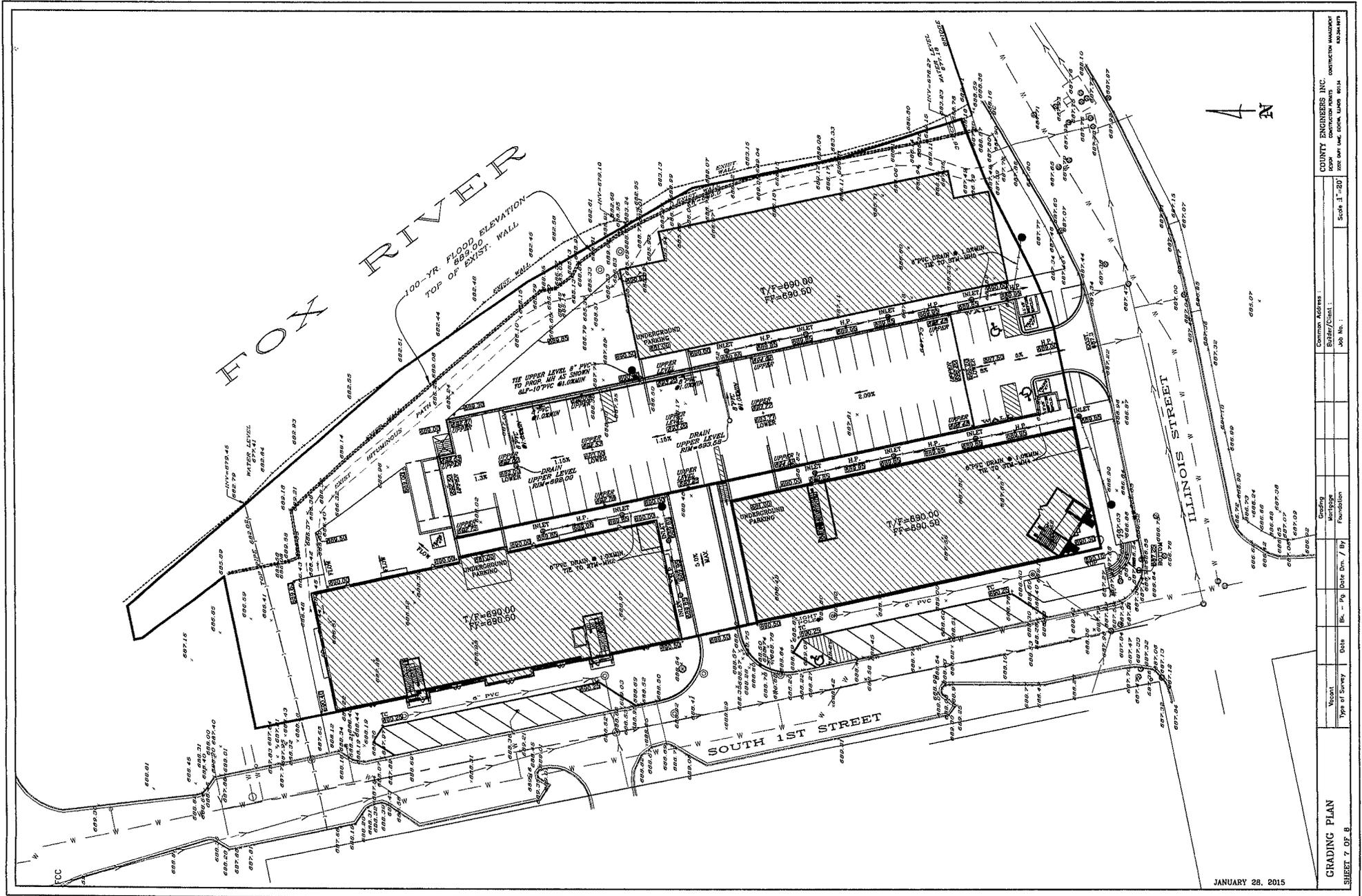


PROPOSED NEW APARTMENT BUILDING ON:
FIRST STREET PLOTTED: 02/12/2014
BUILDING TWO
 ST. CHARLES, ILLINOIS 60114
 FIRST STREET DEVELOPMENT, LLC



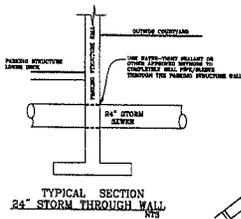
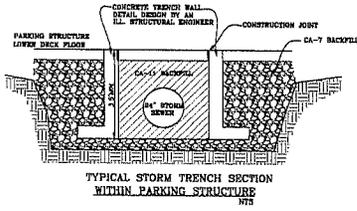
STOP BE ARBITRARY

BUILDING 2 INFORMATION				COMMON ADDRESS :				COUNTY ENGINEERS INC.					
Vacant								2222 GARY LANE, COVINGTON, ILLINOIS 60124					
Type of Survey	Date	Bk. - Pg.	Date Dm. / By	Grading	Mortgage	Foundation		Builder/Client :	Job No. :	Scale : NTS	CONSTRUCTION PERMITS	CONSTRUCTION MANAGEMENT	630.384.8975

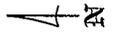
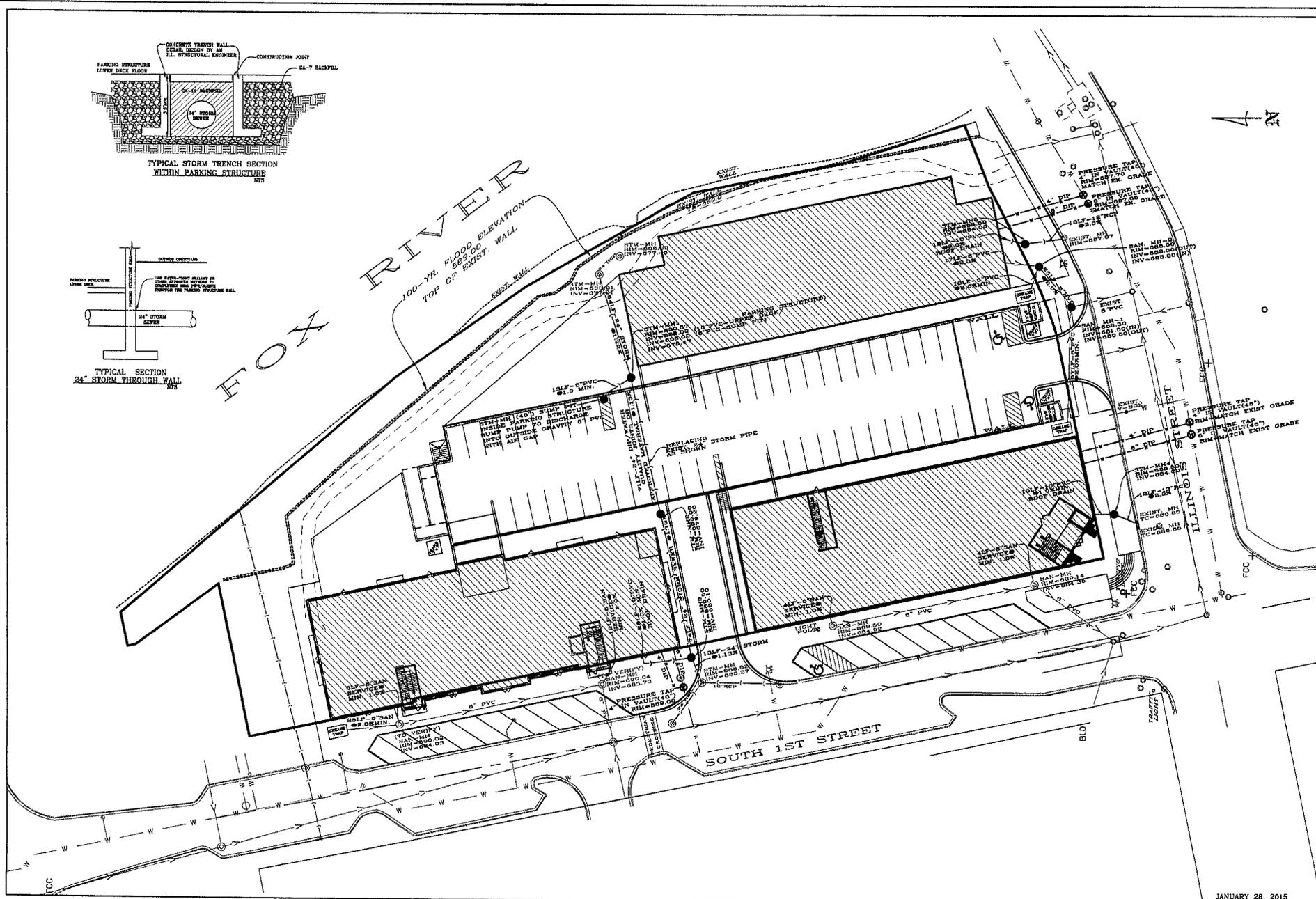


GRADING PLAN SHEET 7 OF 8		Common Address : Subdiv/Client : Job No. :	COUNTY ENGINEERS, INC. 600 N. STATE ST. SUITE 200 CHICAGO, IL 60610
Vacant Type of Survey :	Date : Date Dwn. / By :	City/State : Map/Scale : Foundation :	Scale 1" = 20' CONSTRUCTION MAINTENANCE DATE: 01/28/2015

JANUARY 28, 2015

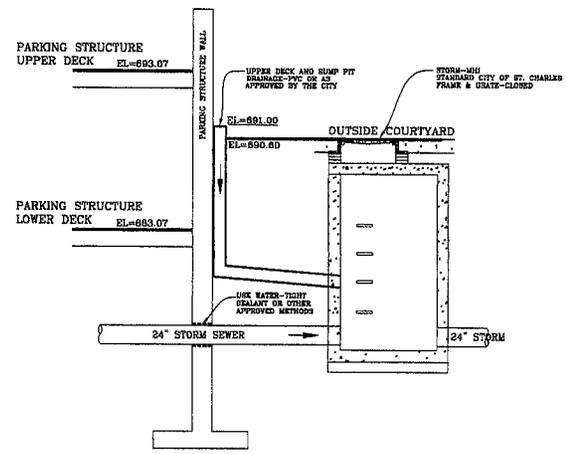
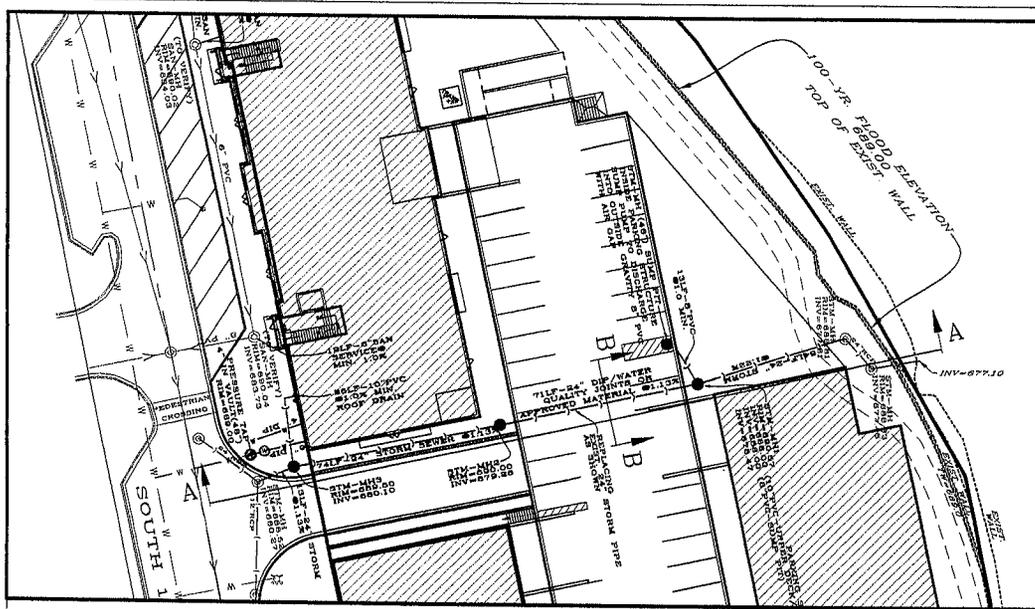


FOX RIVER
 100-YR. FLOOD ELEVATION
 589.00
 TOP OF EXIST. WALL

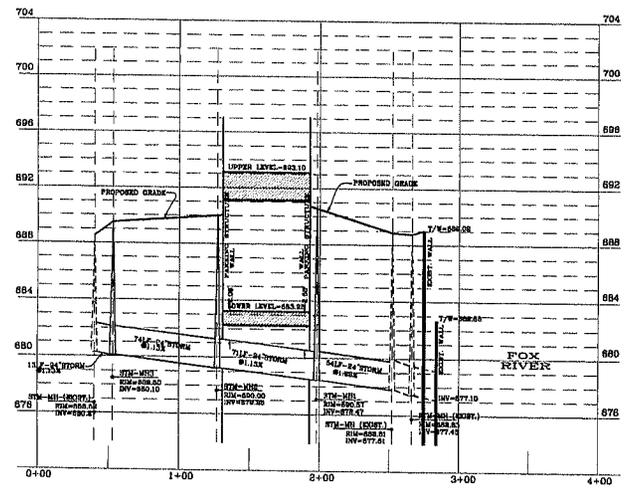


UTILITY PLAN SHEET 8 OF 8	Vicinity	Date	Scale	Drawn By	Checked By	Engineering Firm	Common Address	County Engineers Inc.	Construction Manager
								Scale: 1" = 40'	Job No.

JANUARY 28, 2015

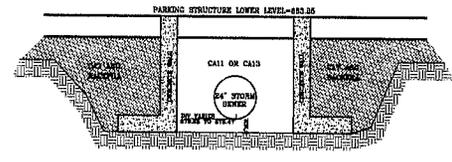


PARKING STRUCTURE LOWER DECK/
UPPER DECK DRAINAGE
NTS



PROFILE SECTION A-A
THROUGH 24" STORM SEWER

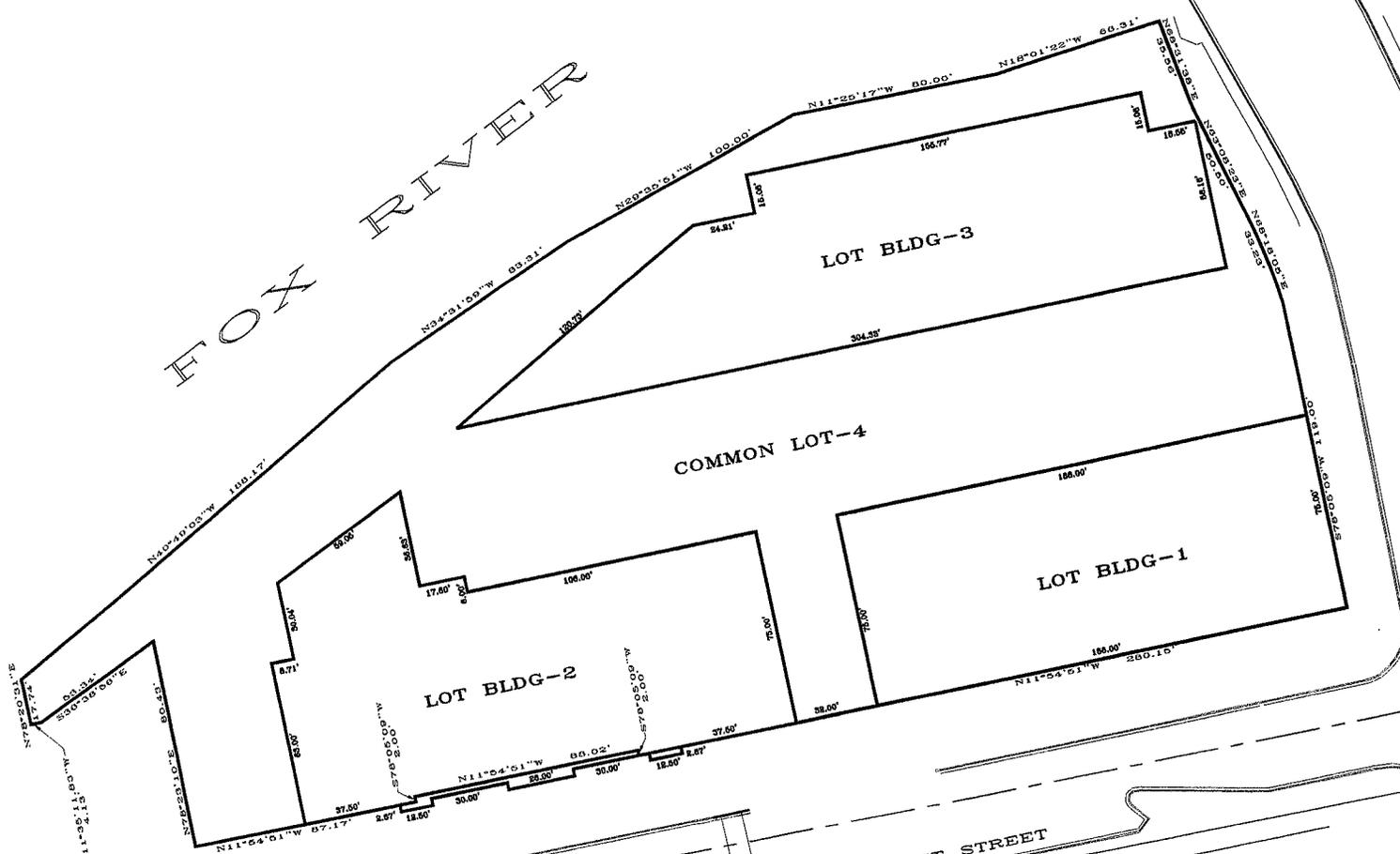
SCALE: 1"=40' HOR.
1"=4' VER.



SECTION B-B
24" STORM SEWER TRENCH
NTS

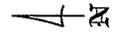
COUNTY ENGINEERS, INC.		Scale: 1"=20'	
Common Address:	Job No.:	City/State:	Project Name:
Project/Client:	Date:	Sheet No.:	Total Sheets:
Engineer:	Checker:	Plotted By:	Drawn By:
Surveyor:	Survey Date:	Survey Method:	Survey Instrument:
STORM PROFILE			
SHEET NO. OF 8			

FOX RIVER



LOTS:

LOT BLDG-1	13,950 SF
LOT BLDG-2	18,318 SF
LOT BLDG-3	18,972 SF
COMMON LOT-4	41,428 SF
TOTAL AREA	88,668 SF



1ST STREET PHASE 3

PROPOSED PLAT
SHEET 1 OF 1

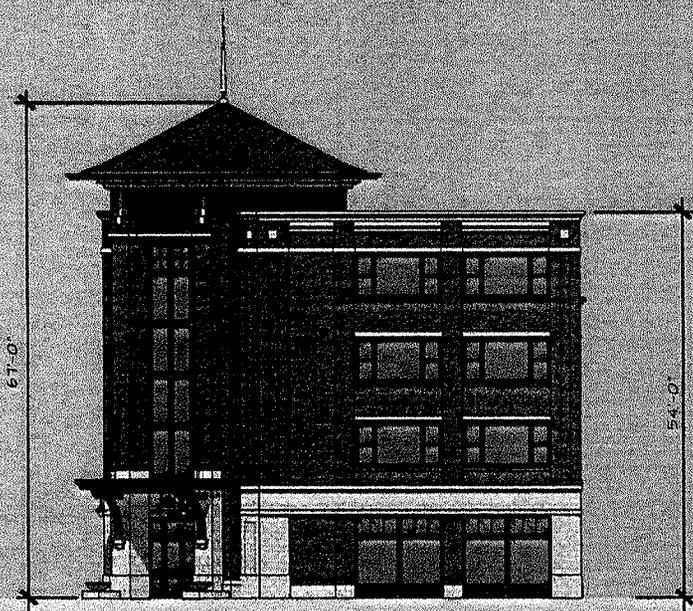
COUNTY ENGINEERS, INC.
CONSTRUCTION MANAGEMENT
SCALE: 1"=50'

Common Address:
Bldg./Cont:
Job No.:

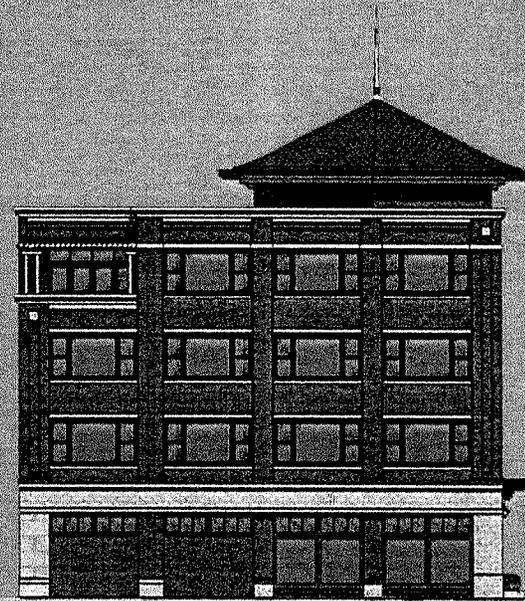
Type of Survey	Date	Bk.	Pg.	Book	Dim.	By	Foundation

JANUARY 28, 2015

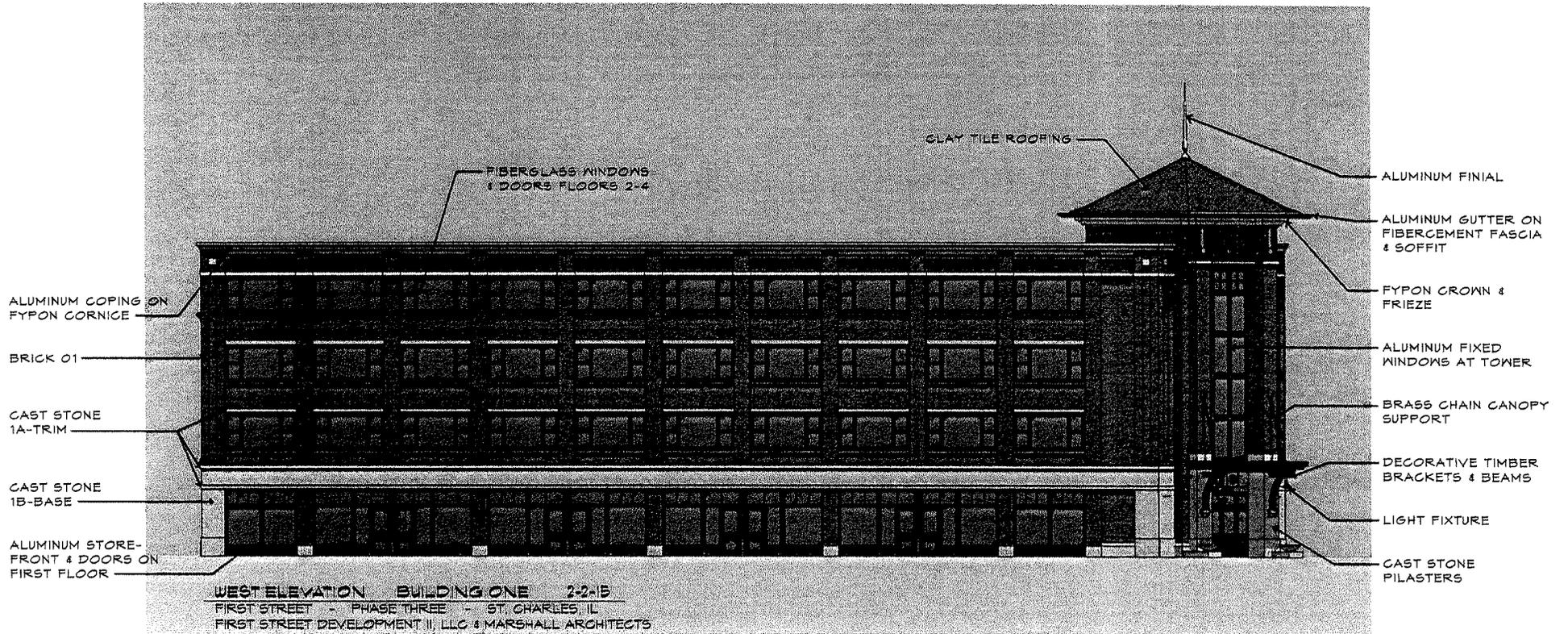
FCC

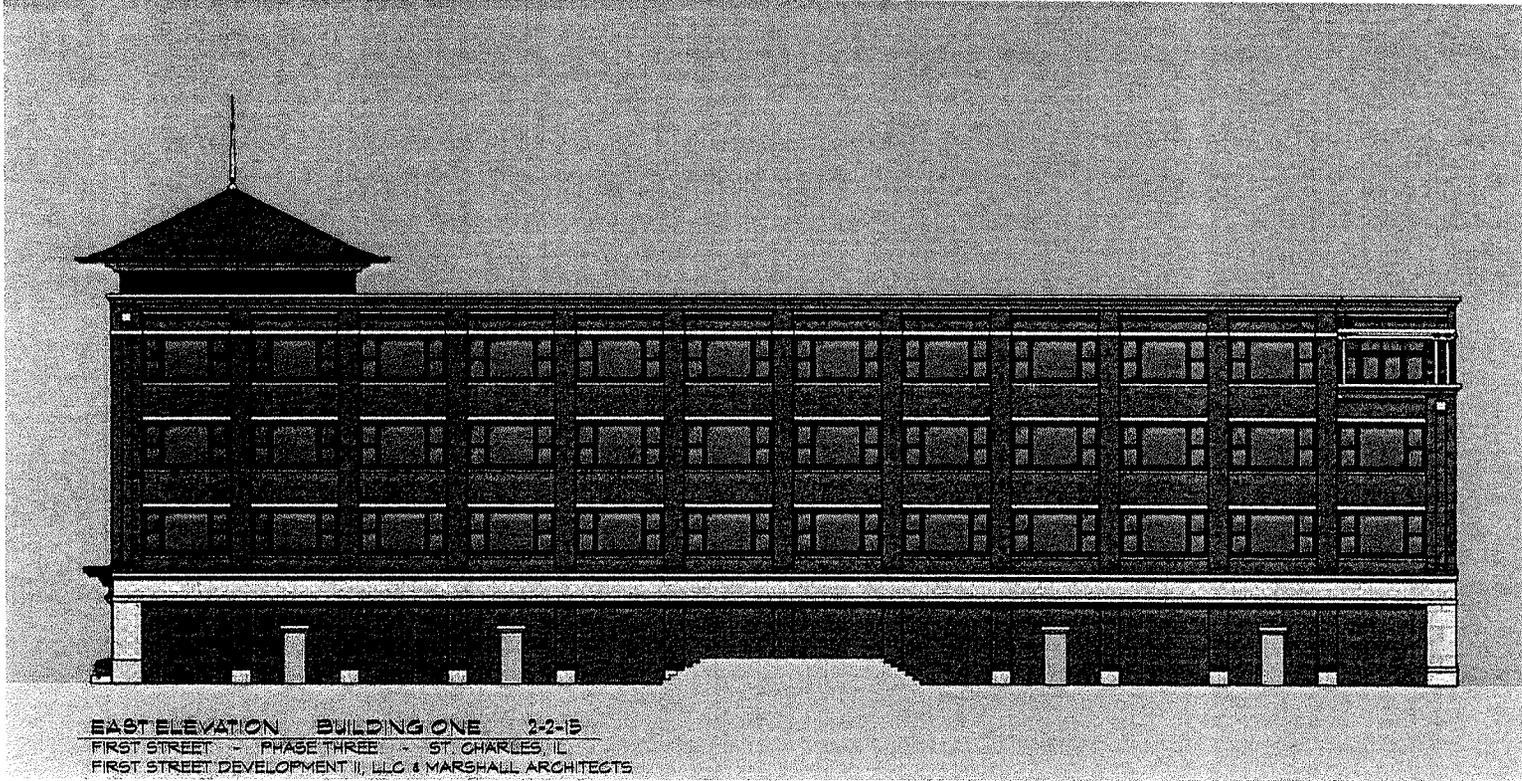


SOUTH ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



NORTH ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS





EAST ELEVATION BUILDING ONE 2-2-15
FIRST STREET - PHASE THREE - ST. CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS

ALUMINUM COPING ON
FYFON CORNICE

BRICK 02

CAST STONE
2A-TRIM

CAST STONE
2B-BASE

ALUMINUM STORE-
FRONT & DOORS ON
FIRST FLOOR

FIBERCEMENT PANEL
& TRIM

FIBERGLASS
WINDOWS & DOOR
FLOORS 2-4

WOOD FRAME BALCONY W/
FIBER-CEMENT BOARD EDGE
TRIM, FIBERCEMENT PANELS
ON BOTTOM & ALUMINUM
RAILINGS

SIGN PANEL W/
LIGHT

STANDING BEAM
ALUMINUM ROOFING

SIGN LIGHTING
FABRIC ANNIS ON
METAL FRAME

ALUMINUM GUTTER
ON FIBERCEMENT
FASCIA & SOFFIT

FIBERCEMENT TRIM

EXPOSED STEEL
LINTELS

WEST ELEVATION BUILDING TWO 2-2-B
FIRST STREET - PHASE THREE - ST CHARLES, IL
FIRST STREET DEVELOPMENT I, LLC & MARSHALL ARCHITECTS



ALUMINUM
LOUVER

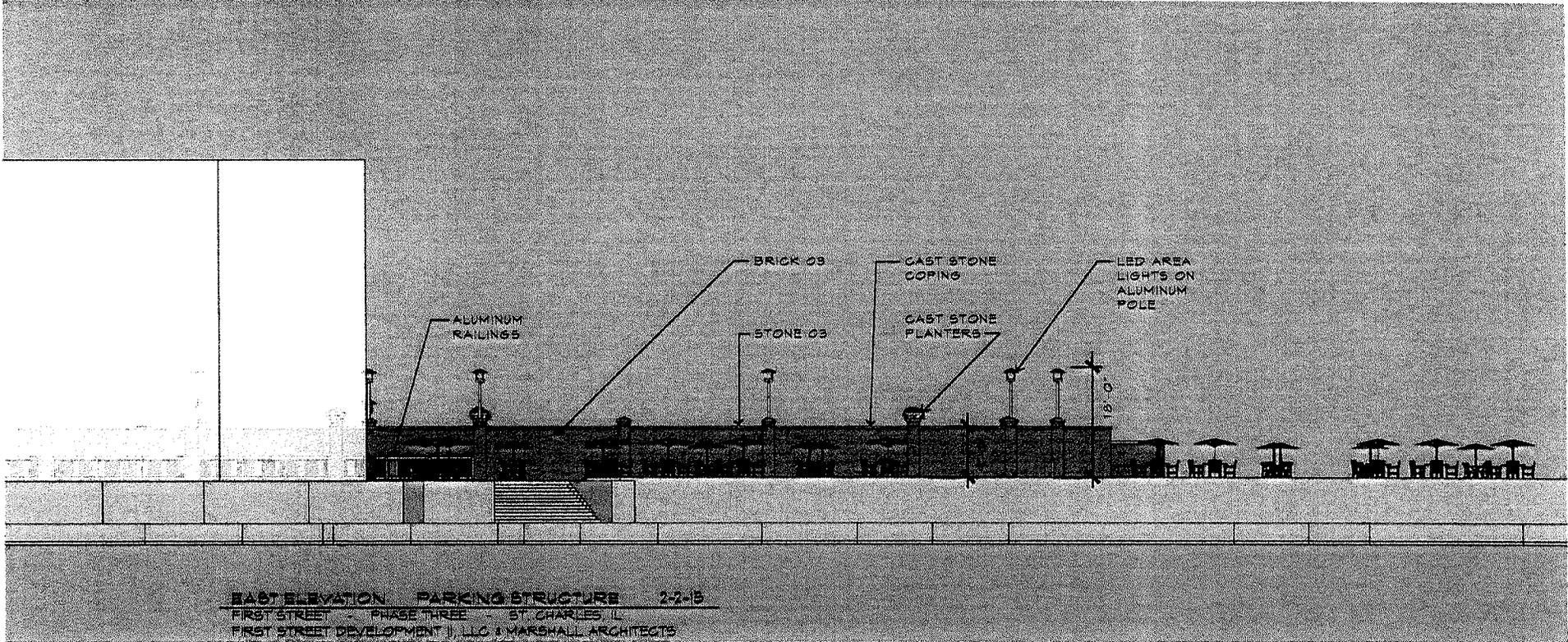
EAST ELEVATION - BUILDING TWO - 2-2-15
FIRST STREET - PHASE THREE - ST CHARLES, IL
FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



SOUTH ELEVATION BUILDING TWO 2-2-B
 FIRST STREET - PHASE THREE - ST CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



NORTH ELEVATION BUILDING TWO 2-2-B
 FIRST STREET - PHASE THREE - ST CHARLES, IL
 FIRST STREET DEVELOPMENT II, LLC & MARSHALL ARCHITECTS



State of Illinois)
)
) ss.
Counties of Kane and DuPage)

Certificate

I, NANCY GARRISON, certify that I am the duly elected and acting Municipal City Clerk of the City of St. Charles, Kane and DuPage Counties, Illinois.

I further certify that on March 2, 2015, the Corporate Authorities of such municipality passed and approved Ordinance No. 2015-Z-5, entitled

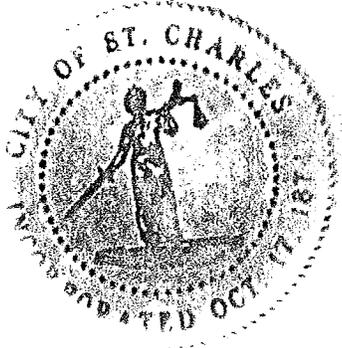
"Motion to Approve an Ordinance Granting Approval of a PUD Preliminary Plan for a portion of Phase 3 of the First Street Redevelopment PUD (Buildings 1, 2, 3 and Parking Deck)."

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2015-Z-5, including the Ordinance and a cover sheet thereof was prepared, and a copy of such Ordinance was posted in the municipal building, commencing on March 6, 2015, and continuing for at least ten days thereafter. Copies of such Ordinance were also available for public inspection upon request in the office of the municipal clerk.

DATED at St. Charles, Illinois, this 2nd

day of March, 2015.



(S E A L)

Nancy Garrison

Municipal Clerk